

**CITY OF WEST DES MOINES
BOARD OF ADJUSTMENT COMMUNICATION**

Meeting Date: April 23, 2014

Item: Iowa Christian Academy Field House, 2296 Grand Ave – Approval to construct an approximately 20,000sf gymnasium and future 12,000sf building addition – Iowa Christian Academy - PC-002074-2014

Requested Action: Approval of a Permitted Conditional Use Permit

Case Advisor: Lynne Twedt 

Applicant's Request: The applicant, Iowa Christian Academy, in cooperation with the property owner, Walnut Creek Community Church, are requesting approval to construct an approximately 20,000sf gymnasium and associated parking and site improvements for use by the school and church on property located at 2251 Fuller Road.

The gymnasium facility is currently intended to be used for ICA's athletic practices, camps, and games; music, drama, and choir rehearsals and performances; and other school activities, including but not limited to events such as Homecoming, Graduation, and their Annual Celebration. Approval to add a future building addition (11,500sf) for 7th-12th grade classrooms and a cafeteria is also being requested. The timing for construction of the building addition is unknown. In addition to ICA's use, as owner of the property Walnut Creek Community Church is intending to use the building for worship and other similar services and as a gathering hall for church activities and during summer camps. The school's use is classified under SIC 8211: Elementary and Secondary School, while the Church's use is classified under SIC 8661: Religious Organizations. SIC 8211 is a Permitted (P) use and SIC 8661 is classified as Permitted Conditional (Pc) land use within the Open Space zoning district of which this parcel is zoned. Due to the combination of intended uses by both the school and church, the application is being presented to the Board of Adjustment for consideration.

History: This property was zoned Nazarene Church Campground PUD on November 10, 2003. The PUD was adopted with seven (7) Conditions of Approval, several of which were never fulfilled thus rendering the PUD null and void. On January 27th of this year, the City Council approved a rezoning to officially void the Nazarene Church Campground PUD and return the area to the prior straight 'Open Space' zoning on the property.

City Council Subcommittee: This item was presented to the Development and Planning City Council Subcommittee on March 27, 2014. Discussion was had regarding whether the site context of the existing camp buildings or the natural environment should be used as a guide in designing the building. It was pointed out that Iowa Christian Academy was purposefully separating themselves from the camp and thus their desire was to capture the context of the natural environment through the incorporation of wood and stone building materials into an otherwise predominately metal building. (See attachment E for architect's explanation of the design and context.) Concern was raised by the subcommittee that the predominately metal building lent itself to more of an agricultural appearance which was not desired. Staff was directed to work with the applicant to minimize the amount of metal that was to be incorporated.

Staff Review and Comment: This request was distributed to other City departments and other agencies for their review and comment. There is one outstanding issue which relates to building materials and design. Staff would summarize the following key points of interest:

- **Building Materials:** As indicated in the City Council Subcommittee section above, the subcommittee was concerned with the amount of visible metal siding, feeling that it was characteristic of an agricultural building. Staff conveyed this concern to school representatives on March 27th. The architect made some changes to the building; however, staff does not believe it yet meets the direction of the subcommittee. Overall staff feels the proposed design is attractive – especially for a gymnasium building. While there may be opportunity to further minimize the amount of visible metal on the south and west elevations, staff is

generally in agreement with that proposed. Staff's concerns rest primarily with the north and east facades which, as proposed, are predominately metal. Staff is requesting direction from the Board of Adjustment regarding whether the current proposed architectural design and use of materials is acceptable or if further modifications to reduce the amount of visible metal is warranted. Staff has recommended a condition of approval which requires the applicant continue to work with staff in regards to architecture. If the Board determines the current design is appropriate, the condition of approval will need to be removed as part of the Board's motion for approval of the project.

- **Parking Lot Landscaping:** The applicant is providing parking lot landscaping consistent with city code for the incorporation of landscape islands and tree pods in the parking area located along Grand; however, not in the parking field located south of the main entrance. Due to topography of the lot and channeling of storm water along the curb lines, the applicant is requesting that they not be required to implement islands or pods as this would impede the water flow. The applicant has located the minimum number of trees that would otherwise be required in islands or pods immediately adjacent to the parking field. The applicant is requesting this vegetation located immediately outside of the parking lot/sidewalk edge be accepted as meeting the intent of code in respect to the incorporation of landscaping for shade and visual softening of expanses of paving within parking areas. The applicant has located a landscape island within the middle parking rows within the lot south of the entrance which otherwise would not be required by code in order to provide additional trees within the lot and compensate for no islands along the parking lot edge.
- **Traffic Impact Study Recommendations:** A traffic analysis for the proposed gymnasium project was completed by staff. Based on the forecasted driveway volumes under typical conditions, dedicated left-turn lanes on Grand Avenue are not expected to be warranted with the proposed gymnasium development. However, if major events occur that lead to a full parking lot, entering volumes may spike immediately before events, potentially meeting warrants for left-turn lanes. Widening Grand Avenue to provide southbound left-turn lanes into the site driveways may become warranted if one of the following occurs in the future:
 - If future expansion (building or parking lot expansion) is expected to result in left-turn volumes that warrant dedicated turn lanes; or
 - If safety issues related to southbound rear-end crashes on Grand Avenue become an issue.

Immediately following large events, the rush of vehicles leaving the site may result in Level of Service (LOS) F for drivers attempting to exit driveways. Drivers would be forced to wait longer than desired for an acceptable gap. A drive connection to the south may be warranted to allow drivers to access to Fuller Road.

The applicant has indicated to staff that they are aware of the issues and agree to implementation of the recommendations stated in the traffic analysis. Staff has included a condition of approval requiring a subsequent Traffic Impact Study at such time that a building or parking addition is proposed to determine if the additions warrant the installation of either Grand Avenue or Fuller Road improvements.

- **Dedication of Fuller Road Right-of-Way:** Fuller Road is classified as a major collector requiring 100ft of total right-of-way or 50' from the center of the roadway. Currently the half right-of-way adjacent to the church's property appears to range from 33ft to 40ft. The applicant has recently completed property surveys in order to confirm the current rights-of-way and thus, calculate right-of-way deficiencies. Staff has recommended a condition of approval requiring dedication by the property owner (Walnut Creek Community Church) of any deficient right-of-way for Fuller Road prior to issuance of any occupancy permit, including temporary occupancy permits for the gymnasium building. The applicant has provided staff an email indicating that the church is aware of this responsibility and agrees to provision of satisfactorily addressing the right-of-way issues this summer.
- **Deferral of Certain Improvements:** ICA's project is located within the larger 22 acre parcel owned by Walnut Creek Community Church. Typical City practice is for all public improvements associated with/adjacent to the developing property to be constructed and/or provided in conjunction with development of the site. In this case, improvements required of the 22 acre property are as follows:
 - Installation of sidewalks along all public streets adjacent to the site. The sidewalk along the property boundary adjacent to Grand Avenue is approximately 1,300 linear feet in length. The applicant will be installing approximately 525 linear feet of the sidewalk as part of their site improvements (that

sidewalk portion located between their two access drives). The applicant is requesting that they be allowed up to five (5) years to install the remaining 775 linear feet of the sidewalk.

- Installation of streetlights along all public streets adjacent to the site.
 - Grand Avenue: Streetlights exist along the west side of Grand Avenue; however, they are not in the proper number or locations to meet the minimum street lighting standards required by the City. No street lights are currently located along the east side of Grand Avenue; however they will be necessary due to the street classification of Grand Avenue which requires lights on both sides of the street. The applicant provided a street lighting plan that indicates six (6) lights are necessary on the east side of Grand Avenue. Staff continues to work with representatives from MidAmerican Energy to determine the exact number and location that will be necessary along Grand Avenue: more specifically, along the east side of the street. The applicant is requesting that they be allowed up to eight (8) years to install the required street lights along Grand Avenue.
 - Fuller Road: Streetlights exist along a portion of Fuller Road but do not extend along the full frontage of Walnut Creek Community Church's property. As with Grand Avenue, the number and location of necessary lights is being finalized. The applicant is requesting that they be allowed up to ten (10) years to install any lights that may be required along Fuller Road.
- Provision of public street rights-of-way deficient to Comprehensive Plan standards. As indicated above, the property owner has indicated agreement with the provision of deficient right-of-way for Fuller Road.
- Parking Improvements. Per City Code, a gymnasium is required to provide one (1) space per four (4) fixed seats (18" of bench = 1 seat). Based on 400 gym seats, the gymnasium is required to provide a minimum of 100 parking spaces. Religious organizations are required to provide one (1) space per four (4) fixed seats, plus one (1) space per 50sf of assembly area. Based on the gymnasium's size, the church use requires the provision of a minimum of 307 parking stalls. ICA has indicated that the church will not be allowed to place chairs on the gymnasium floor, thus the space available to them is limited to the same as the gymnasium use for athletic events in that all individuals would be seated in the bleachers. Because of this restriction, the need for 307 parking spaces is not anticipated to be warranted. The applicant is requesting that the installation of 169 parking spaces (church use required 307 stalls minus 138 to be constructed with the gymnasium) be deferred until such time that it is proven (patrons parking on grass or off-site due to lack of available stalls) they are needed. The applicant has provided a sheet within the site plan packet demonstrating where the additional parking could be accommodated should installation be necessary. Typical City practice is to allow deferral of parking as long as it has been demonstrated that the additional parking required to comply with city code minimums can be provided on-site.

Granting of the above indicated deferrals is at the discretion of the Plan and Zoning Commission and City Council. The deferral request will be presented to the Commission at their April 30th meeting and to the City Council on May 5th. Staff has included conditions of approval for this site plan which require the installation of the above mentioned requirements in the event the City Council denies or otherwise modifies the deferrals.

Comprehensive Plan Consistency: The project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan and the land use map of the Comprehensive Plan.

Findings: This proposed project was distributed to various city departments for review and comment. Based upon that review, the following findings have been made on the proposed project:

1. The proposed development and use is consistent with the West Des Moines Comprehensive Plan in that the project has been reviewed for consistency with the Comprehensive Plan. Based upon that review, a finding has been made that the proposed project is consistent with the Comprehensive Plan in that the project is consistent with all of the goals and policies of the Comprehensive Plan.

2. The proposed development and use does assure compatibility of property uses within the zone and general area in that this project was reviewed by various City Departments for compliance with the Zoning Ordinance.
3. All applicable standards and conditions have been imposed which protects the public health, safety and welfare in that this project was reviewed by various City Departments and public agencies for compliance with the various state and local regulations. Based upon that review a finding is made that the project has been adequately conditioned to protect the health, welfare and safety of the community.
4. There is adequate on-site and off-site public infrastructure to support the proposed development in that this project was reviewed by various public agencies and City Departments and public utilities to ensure that either the petitioner will construct or the project has been conditioned to construct adequate public infrastructure to serve the development.
5. The proposed development and use has met the requirements contained in the City Code in that this project was reviewed by various City Departments and the project has complied with or has been conditioned to comply with all City Code requirements.
6. The proposed development and use is in keeping with the scale and nature of the surrounding neighborhood in that the proposed project is consistent with the zoning designation and Comprehensive Plan which designates this site as suitable for development such as that proposed by this project.

Noticing Information: On April 11, 2014, notice of the April 23, 2014 Board of Adjustment Public Hearing on this project was published in the Des Moines Register Community Section. Notice of this public hearing was also mailed to all surrounding property owners within 370 feet of the subject property on April 4, 2014.

Staff Recommendation And Conditions Of Approval: Based upon the preceding review and a finding of consistency with the goals and policies of the Comprehensive Plan and the findings necessary for approval, staff recommends the Board of Adjustment adopt a resolution approving the Permitted Conditional Use Permit request to allow the construction of an approximately 20,000sf gymnasium and future 11,500sf building addition to allow uses classified under SIC 8211: Elementary and Secondary School and SIC 8661: Religious Organizations, subject to the applicant meeting all City Code requirements and the following:

1. The applicant continuing to work with city staff to create a building design which further minimizes the amount of visible metal consistent with the direction of the March 27, 2014 Development and Planning City Council Subcommittee stated preference to implement a building that is not characteristic of an agricultural building;
2. Prior to initiation of any site development activity, including clearing or grading, the applicant providing a copy of the Storm Water NPDES General Permit #2 authorized by the Iowa Department of Natural Resources to the Chief Building Official or case planner;
3. Prior to issuance of an occupancy permit, including temporary occupancy permit, the property owner providing necessary public street right-of-way for Fuller Road to provide a total of 50ft of right-of-way from the center of the roadway;
4. The applicant agreeing to have a Traffic Impact Study completed in conjunction with any subsequent building or parking expansion to determine if roadway improvements to either Grand Avenue and Fuller Road as indicated in the April 1, 2014, Traffic Impact Study completed for the site;
5. The Board of Adjustment accepting the placement of landscape vegetation immediately adjacent to the edge of the parking lot located south the proposed gymnasium as meeting the intent of the

incorporation of landscape islands and tree pods for the placement of trees to provide shade and otherwise visually soften the expanses of parking lot paving;

6. The City Council deferring the installation of up to 169 parking stalls required until such time that need for all or part of the deferred parking is warranted as determined by events in which parking on the grass or other non-designated parking areas occurs or parking off-site is occurring due to the lack of available parking stalls. Prior to implementation of additional parking to satisfy the deferred parking stalls, the applicant shall submit and receive approval of a Minor Modification to the City identifying the location and engineering details for the stalls to be implemented. Although not typically required of Minor Modification submittals, if the Planning Division determines the number of stalls necessary to alleviate parking problems is such that potential traffic issues as discussed in the April 1, 2014 Traffic Impact Study may occur, a Traffic Impact Study will be required to determine if roadway improvements identified in the April 1, 2014 Traffic Impact Study are warranted;
7. The City Council granting a deferral for the installation of approximately 775 linear feet of public sidewalk along Grand Avenue until May, 2019 unless otherwise required to be installed as part of the City's Sidewalk Improvement Program. The applicant shall, as part of site development for the gymnasium building, install that public sidewalk located between the two (2) proposed Grand Avenue access drives for the site;
8. The City Council granting a deferral of the installation of streetlights adjacent to the property along the south side of Grand Avenue until May, 2022; and,
9. The City Council granting a deferral of the installation of streetlights adjacent to the property along Fuller Road until May, 2024.

Property Owner: Walnut Creek Community Church
900 64th Street
Windsor Heights, IA 50324
Attn: Pastor Tim Rude (timwccc@aol.com)

Applicant(s): Iowa Christian Academy
2501 Vine Street
West Des Moines, IA 50265
Attn: Beth Grob (bgrob@ahlerslaw.com)

Applicant's Representatives:
Engineering Resource Group, Inc.
2413 Grand Ave
Des Moines, IA 50309
Attn: Doug Saltsgaver (doub@ergcorp.com)

David Laugerman Architects, P.C.
5646 Ponderosa Dr.
West Des Moines, IA 50266
Attn: David Laugerman (davel@laugermanarchitects.com)

SITE DETAILS

Comprehensive Plan Designation: Open Space
Existing Zoning Designation: Open Space
Proposed Zoning Designation: Open Space
Existing Land Use: Church Campground

Surrounding Land Uses:

North:	Comprehensive Plan Designation:	Apartments
	Existing Zoning Designation:	Residential High Density (RH-18)
	Existing Land Use:	High Density Residential (HD)
South:	Comprehensive Plan Designation:	Industrial
	Existing Zoning Designation:	General Industrial (GI)
	Existing Land Use:	General Industrial (GI)
East:	Comprehensive Plan Designation:	Single Family Residences and Apartments
	Existing Zoning Designation:	Residential Single Family and High Density (RS-5 & RH-18)
	Existing Land Use:	High Density Residential (HD)
West:	Comprehensive Plan Designation:	Single Family Residential
	Existing Zoning Designation:	Residential Estate (RE-1A)
	Existing Land Use:	Low Density Residential (LD)

Total Land Area: 22.93 acres

ATTACHMENTS:

Attachment A	-	Board of Adjustment Resolution
Attachment B	-	Location Map
Attachment C	-	Site Plans
Attachment D	-	Elevations
Attachment E	-	Architect's Explanation of Design
Attachment F	-	Letter – Requests for Deferrals

Prepared by: L. Twedt West Des Moines Development Services, PO Box 65320 West Des Moines IA 50265-0320 515-222-3620
When Recorded, Return to: City Clerk, City of West Des Moines PO Box 65320 West Des Moines IA 50265-0320

RESOLUTION

A RESOLUTION OF THE BOARD OF ADJUSTMENT OF THE CITY OF WEST DES MOINES, APPROVING A PERMITTED CONDITIONAL USE PERMIT (PC-002074-2014) TO CONSTRUCT A GYMNASIUM AND FUTURE BUILDING ADDITION FOR USES CLASSIFIED UNDER SIC 8211 AND SIC 8661 ON THAT PROPERTY LOCATED AT 2296 GRAND AVENUE

WHEREAS, pursuant to the provisions of Title 9, Chapter 1 et seq, of the West Des Moines Municipal Code, the applicant, Iowa Christian Academy, in conjunction with the property owner, Walnut Creek Community Church, has requested approval of a Permitted Conditional Use permit to allow the construction of an approximately 20,000sf gymnasium and future approximately 11,500sf building for classrooms to accommodate land uses classified under SIC 8211: Elementary and Secondary School and SIC 8661: Religious Organizations on that 22.93 acre property located at 2296 Grand Avenue, and legally described as follows:

Legal Description of Property
SEE ATTACHED EXHIBIT 'A'

WHEREAS, studies and investigations were made, and staff reports and recommendations were submitted which is made a part of this record and herein incorporated by reference;

WHEREAS, on April 23, 2014, the Board of Adjustment held a duly-noticed public hearing to consider the application for Permitted Conditional Use Permit (PC-002074-2014);

NOW, THEREFORE, THE BOARD OF ADJUSTMENT OF THE CITY OF WEST DES MOINES DOES RESOLVE AS FOLLOWS:

SECTION 1. The findings, for approval, in the staff report, dated April 23, 2014 , or as amended orally at the Board of Adjustment hearing of April 23, 2014, are adopted.

SECTION 2. PERMITTED CONDITIONAL USE PERMIT (PC-002074-2014) is approved, subject to compliance with all the conditions in the staff report, dated April 23, 2014, including conditions added at the Hearing, and attached hereto as Exhibit "B", if any. Violation of any such conditions shall be grounds for revocation of the entitlement, as well as any other remedy which is available to the City.

PASSED AND ADOPTED on April 23, 2014

Jennifer Drake, Chairperson
Board of Adjustment

ATTEST:

Recording Secretary

I HEREBY CERTIFY that the foregoing resolution was duly adopted by the Board of Adjustment for the City of West Des Moines, Iowa, at a regular meeting held on April 23, 2014, by the following vote:

AYES:

NAYS:

ABSTAIN:

ABSENT:

ATTEST:

Recording Secretary

Exhibit A
LEGAL DESCRIPTION

THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 16, TOWNSHIP 78 NORTH, RANGE 25 WEST OF THE 5TH P.M., IN THE CITY OF WEST DES MOINES, POLK COUNTY, IOWA, LYING NORTH OF FULLER ROAD AND EAST OF GRAND AVENUE AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 16; THENCE

N89°38'34"W, 667.57 FEET ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 16 TO THE POINT OF BEGINNING; THENCE

N89°38'34"W, 355.48 FEET ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 16 TO THE EAST RIGHT-OF-WAY LINE OF GRAND AVENUE; THENCE

SOUTHWESTERLY 1089.18 FEET ALONG THE ARC OF A CURVE IN THE EAST RIGHT-OF-WAY LINE OF GRAND AVENUE CONCAVE EASTERLY AND HAVING A RADIUS OF 2810.00 FEET, A CENTRAL ANGLE OF 22°12'30" AND A 1082.37 FEET LONG CHORD THAT BEARS S11°04'15"W; THENCE

SOUTH 00°02'00"E, 190.04 FEET ALONG THE EAST RIGHT-OF-WAY OF GRAND AVENUE TO THE NORTH RIGHT-OF-WAY LINE OF FULLER ROAD; THENCE

S69°55'48"E, 121.08 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF FULLER ROAD; THENCE

N73°15'23"E, 520.05 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF FULLER ROAD; THENCE

N24°44'52"E, 171.61 FEET; THENCE

N09°52'46"E, 30.00 FEET; THENCE

S76°01'03"E, 204.32 FEET TO THE NORTH RIGHT-OF-WAY LINE OF FULLER ROAD; THENCE

N34°46'33"E, 491.71 FEET ALONG THE NORTH RIGHT-OF-WAY LINE OF FULLER ROAD; THENCE

N45°06'45"W, 852.85 FEET TO THE POINT OF BEGINNING.

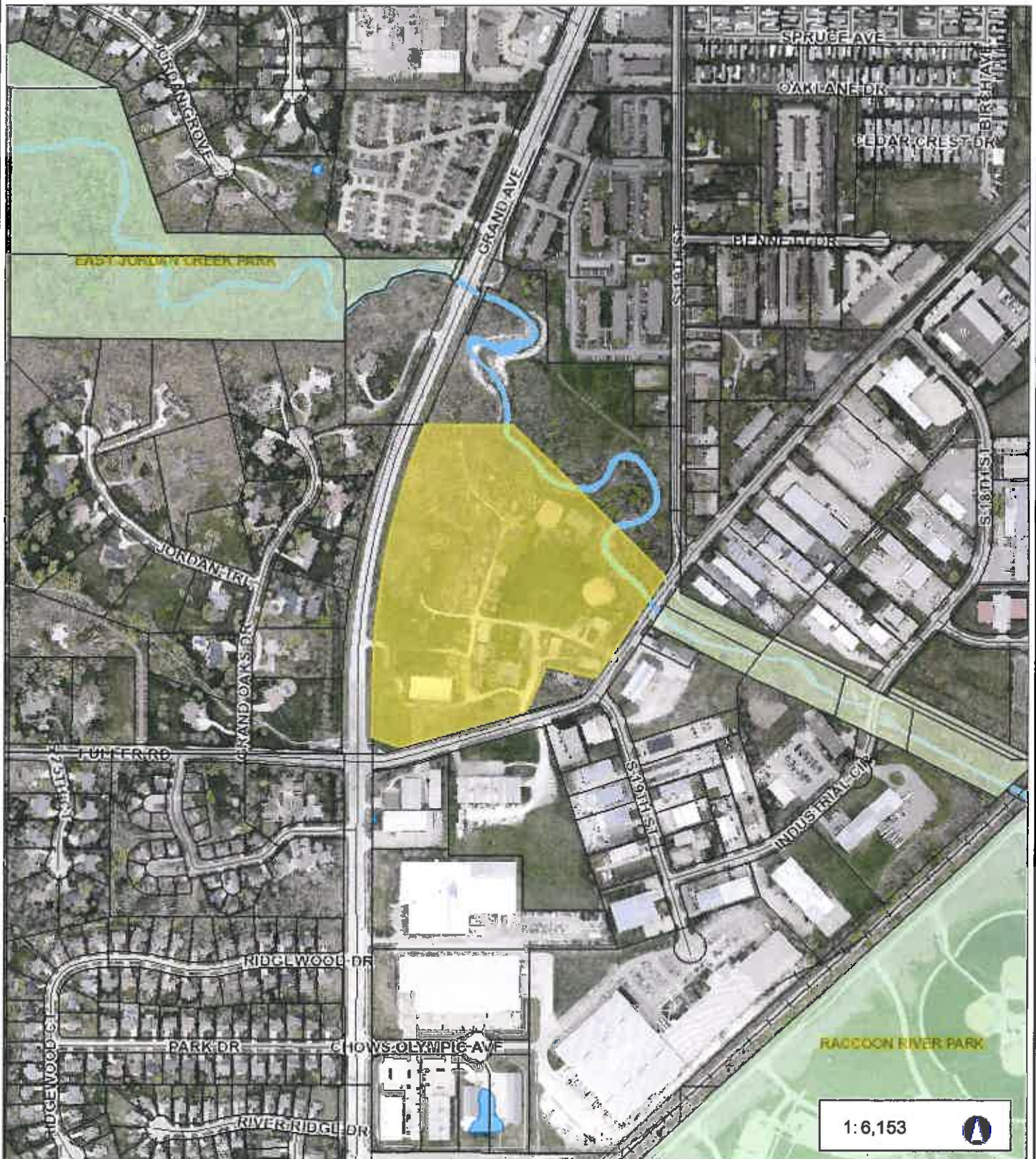
CONTAINING 22.93 ACRES.

Exhibit B
CONDITIONS OF APPROVAL

1. The applicant continuing to work with city staff to create a building design which further minimizes the amount of visible metal consistent with the direction of the March 27, 2014 Development and Planning City Council Subcommittee stated preference to implement a building that is not characteristic of an agricultural building;
2. Prior to initiation of any site development activity, including clearing or grading, the applicant providing a copy of the Storm Water NPDES General Permit #2 authorized by the Iowa Department of Natural Resources to the Chief Building Official or case planner;
3. Prior to issuance of an occupancy permit, including temporary occupancy permit, the property owner providing necessary public street right-of-way for Fuller Road to provide a total of 50ft of right-of-way from the center of the roadway;
4. The applicant agreeing to have a Traffic Impact Study completed in conjunction with any subsequent building or parking expansion to determine if roadway improvements to either Grand Avenue and Fuller Road as indicated in the April 1, 2014, Traffic Impact Study completed for the site;
5. The Board of Adjustment accepting the placement of landscape vegetation immediately adjacent to the edge of the parking lot located south the proposed gymnasium as meeting the intent of the incorporation of landscape islands and tree pods for the placement of trees to provide shade and otherwise visually soften the expanses of parking lot paving;
6. The City Council deferring the installation of up to 169 parking stalls required until such time that need for all or part of the deferred parking is warranted as determined by events in which parking on the grass or other non-designated parking areas occurs or parking off-site is occurring due to the lack of available parking stalls. Prior to implementation of additional parking to satisfy the deferred parking stalls, the applicant shall submit and receive approval of a Minor Modification to the City identifying the location and engineering details for the stalls to be implemented. Although not typically required of Minor Modification submittals, if the Planning Division determines the number of stalls necessary to alleviate parking problems is such that potential traffic issues as discussed in the April 1, 2014 Traffic Impact Study may occur, a Traffic Impact Study will be required to determine if roadway improvements identified in the April 1, 2014 Traffic Impact Study are warranted;
7. The City Council granting a deferral for the installation of approximately 775 linear feet of public sidewalk along Grand Avenue until May, 2019 unless otherwise required to be installed as part of the City's Sidewalk Improvement Program. The applicant shall, as part of site development for the gymnasium building, install that public sidewalk located between the two (2) proposed Grand Avenue access drives for the site;
8. The City Council granting a deferral of the installation of streetlights adjacent to the property along the south side of Grand Avenue until May, 2022; and,
9. The City Council granting a deferral of the installation of streetlights adjacent to the property along Fuller Road until May, 2024.



LOCATION MAP



1,025.5 0 512.75 1,025.5 Feet

NAD_1983_StatePlane_Iowa_South_FIPS_1402_Feet
© City of West Des Moines, Iowa

Disclaimer: The City of West Des Moines makes no warranties regarding the accuracy or completeness of the data provided herein.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

IOWA CHRISTIAN ACADEMY FIELD HOUSE - GEOMETRIC PLAN

NO.	REVISION	DATE	BY	FOR	LOCATION	DESIGNED BY: DJS	DRAWN BY: RM	DATE: 04/17/14	FILE NO.: 13-178
						CHECKED BY: 10			
						FIELD BOOK: 1			

ERG
Engineering Resources Group, Inc.
Engineers and Surveyors
2413 GRAND AVENUE
DES MOINES, IOWA 50312
(515) 266-1885

NOTE:

THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH APPLICABLE CITY AND COUNTY CODES, ORDINANCES, REGULATIONS AND RULES INCLUDING THE WDM STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE WDM SUBDIVISIONS ORDINANCES.
- ALL DEBRIS SPILLED ON THE STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- ALL CONSTRUCTION PROCEDURES AND MATERIALS TO MEET OR EXCEED MINIMUM REQUIREMENTS OF THE CITY.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY AND ALL APPROPRIATE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- WORK SHALL INCLUDE CONNECTION TO EXISTING PUBLIC UTILITIES AND ANY AND ALL FITTINGS, CLEANOUTS AND APPURTENANCES REQUIRED BY CODES.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEARING & GRUBBING THE SITE, AND REMOVAL & DISPOSAL OF ANY DELETERIOUS AND EXCESS MATERIALS FROM THE SITE.
- ANY DAMAGE DONE TO THE EXISTING FENCES, YARDS OR OTHER IMPROVEMENTS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS FOR PERFORMING THE WORK.
- THE CONTRACTOR SHALL PLACE SILT FENCE AROUND ALL STORM SEWER INLET LOCATIONS, STEEP SLOPES, OR AS DIRECTED BY THE CITY.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS, DSM METRO DESIGN STANDARDS AND WDM ADDENDUMS.
- ALL APPLICABLE CITY PERMITS LANE CLOSURE PERMITS, ETC., SHALL BE OBTAINED IN ADVANCE FROM THE CITY BY THE CONTRACTOR BEFORE STARTING ANY CONSTRUCTION WITHIN CITY R.O.W.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK OF ALL SUBCONTRACTORS INVOLVED IN THE PROJECT.
- ALL LIGHTS ARE TO BE DOWNCAST CUTOFF VARIETY. WALLPACKS ARE PROHIBITED. THE MAXIMUM ILLUMINATION ALLOWED AT THE PROPERTY LINE IS 1 FOOTCANDLE.
- ALL SIGNING AND PAVEMENT STRIPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE WDM CONSTRUCTION DIVISION 'JOINT GARDBEAT' (222-3480) TO OBTAIN APPLICABLE CITY PERMITS THAT MAY BE NECESSARY. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENT/AGREEMENTS AND APPLICABLE PERMITS.
- DESIGNATED BUFFERS SHALL BE LABELED AS A "NO BUILD AREA".
- PRIVATE UTILITIES SHALL BE INSTALLED PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS AND THE 2009 UNIFORM PLUMBING CODE. CONTACT WEST DES MOINES BUILDING INSPECTION (515-222-3630) A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.

ADA NOTES:

- ALL SIDEWALKS ON THIS SITE SHALL HAVE SLOPES LESS THAN 5% (1:20), THEREFORE NO HANDRAILS ARE REQUIRED.
- THE CITY OF WEST DES MOINES SHALL INSPECT ALL PROPOSED CONCRETE RAMPS BEFORE POURING. CALL THE BUILDING DIVISION AT 222-3630 TO ARRANGE INSPECTION.
- ACCESSIBLE PARKING STALLS ARE LOCATED ON THE SHORTEST POSSIBLE ACCESSIBLE ROUTE TO MAIN ENTRANCE.
- THE BUILDING CONTAINS 3 ACCESSIBLE MEANS OF EGRESS.

WATER SUPPLY AND SEWAGE DISPOSAL:

CITY OF WEST DES MOINES.

DRIVEWAY APPROACH SHALL COMPLY WITH WDM STANDARD DRAWING 7.1B

REMOVAL LIMITS FOR THE ENTRANCE SHALL BE 1.5' FROM BACK OF CURB AND TO THE NEAREST TRANSVERSE JOINT AT END OF RADIUS. VERIFY REMOVAL LIMITS WITH CITY INSPECTOR PRIOR TO REMOVAL.

P.C.C. PAVING:

- ALL SUBGRADE UNDER SLAB TO BE COMPACTED TO 85% STANDARD PROCTOR DENSITY FOR A MINIMUM OF 12".
- MOISTEN SUBGRADE PRIOR TO PLACING CONCRETE.
- CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI.
- AGGREGATE SHALL BE CLASS 3.
- CONCRETE SURFACES SHALL BE BURLAP FINISH. CHECK SURFACE WITH TEMPLATE NO DEVIATION OVER 1/8" IN 10' IS PERMITTED. ALL CONCRETE SHALL SLOPE TO DRAIN.
- ALL CONCRETE SHALL BE CURED WITH AN ASTM C309 TYPE 2, WATER BASED WHITE PIGMENTED CURING COMPOUND PER DOT SEC. 4105
- SAW CUT JOINTS AS SOON AS CONCRETE HAS SET ENOUGH TO PREVENT RAVELING AND PRIOR TO ANY GRADING.
- SAW CUTS TO BE 1/8" TO 1/4" WIDE, DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
- LONGITUDINAL JOINT SPACING SHALL NOT BE GREATER THAN 12'. TRANSVERSE SPACING SHALL NOT BE GREATER THAN 15'. JOINT LAYOUT SHALL BE APPROVED BY THE ENGINEER.
- BARS AT LONGITUDINAL JOINTS TO BE 1/2" X 30' DEFORMED AT 30' O.C.
- ALL JOINTS SHALL BE FILLED.
- THE CONTRACTOR TO BARRICADE SLAB FOR 14 DAYS AFTER PLACING.
- PAVING THICKNESS SHALL BE AS FOLLOWS: 6" DRIVEWAYS; 5" PARKING STALLS
- SUBMIT DESIGN MIX AS DESIGNED BY INDEPENDENT TESTING LABORATORY PRIOR TO PLACING ANY CONCRETE.
- ALL WORK TO COMPLY WITH CURRENT A.D. STANDARDS.
- THE CONTRACTOR SHALL PAINT PARKING STALLS AND PROVIDE AND INSTALL H.C. PARKING SIGNS IN ACCORDANCE WITH MUTCD.
- ALL DEBRIS SPILLED ON THE CITY STREETS OR ADJACENT PROPERTY SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR. NOTIFY CITY OF PROPOSED BORROW OR FILL SITE LOCATIONS AND HAUL ROUTES.

INSTALL DROP FACE CURB SOUTH

INSTALL DROP FACE CURB WEST

EXTEND FOUNDATION WALL FOR RETAINING WALL

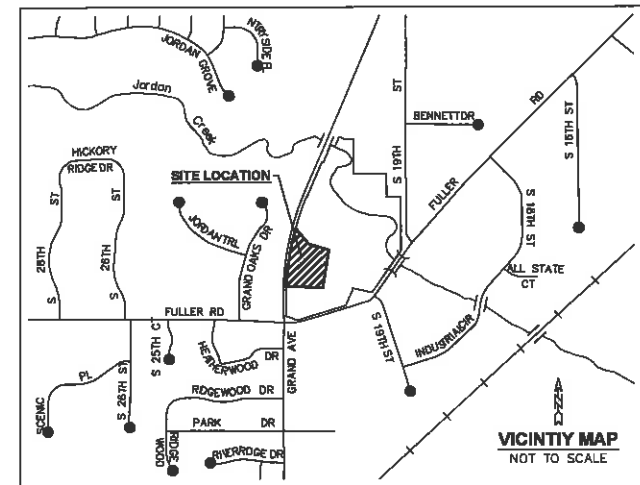
INSTALL 5 H.C. PARKING SIGNS

INSTALL 9-6" RISERS WITH 1.5% SLOPE BETWEEN EACH

INSTALL PARALLEL H.C. RAMP. SEE DETAIL SHEET

INSTALL H.C. RAMP WITH DETECTABLE PANELS

INSTALL 4' SIDEWALK



PARKING:

REQUIRED: 1/4 SEATS OF GYMNASIUMS (18" OF BENCH = 1 SEAT)
400 GYM SEATS
400/4 = 100
1/EMPLOYEE
3 EMPLOYEES = 3
1/10 STUDENT CLASSROOMS
0 CLASSROOM = 0
TOTAL REQUIRED TOS

PROVIDED: 138 INCLUDING 5 H.C. STALLS

COMPREHENSIVE PLAN:

OS
ZONING: OS

DEVELOPER:

IOWA CHRISTIAN ACADEMY
2501 VINE STREET
WEST DES MOINES, IA 50265

OWNER:

WALNUT CREEK COMMUNITY CHURCH
800 64TH ST
WINDSOR HEIGHTS, IA 50324

SITE ADDRESS:

2296 GRAND AVENUE

OPEN SPACE:

REQUIRED = 25% (249,650 SF)
PROVIDED = 82% (815,680 SF)
73,680 SF

IMPERVIOUS AREA ADDED:

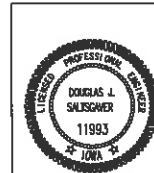
109,290 SF

IMPERVIOUS AREA EXISTING:

73,680 SF

SETBACKS:

FRONT YARD = 100'
REAR YARD = 100'
SIDE YARD = 75'



ENGINEERING CERTIFICATION
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT, SPECIFICATION OR REPORT WAS PREPARED BY ME, OR UNDER MY DIRECT PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
DOUGLAS J. SALSGBAVER, P.E. #11993
MY REGISTRATION RENEWAL DATE IS DECEMBER 31, 2014
DATE
PAGES OR SHEETS COVERED BY THIS SEAL
1-10

NOTE:

THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

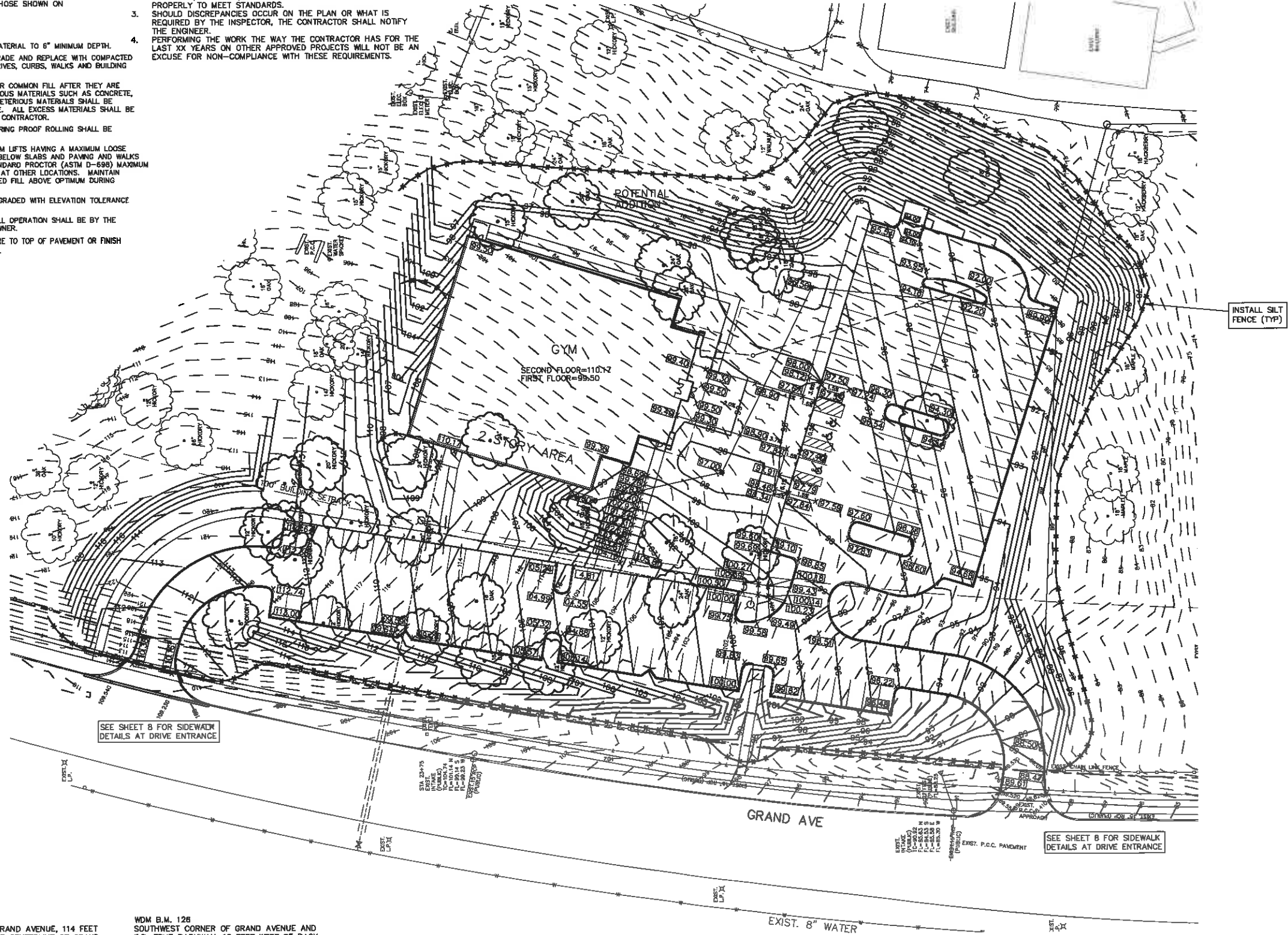
GRADING NOTES

1. REMOVE ALL EXISTING ORGANIC MATERIAL TO 6" MINIMUM DEPTH.
2. PROOF ROLL THE EXPOSED SUBGRADE AND REPLACE WITH COMPACTED FILL TO BOTTOM OF CONCRETE DRIVES, CURBS, WALKS AND BUILDING FLOOR ELEVATION.
3. NATIVE SOILS MAY BE REUSED FOR COMMON FILL AFTER THEY ARE SORTED TO REMOVE ALL DELETERIOUS MATERIALS SUCH AS CONCRETE, BRICKS AND OTHER RUBBLE. DELETERIOUS MATERIALS SHALL BE REMOVED FROM THE PROJECT SITE. ALL EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR.
4. ANY SOFT SPOTS DISCOVERED DURING PROOF ROLLING SHALL BE UNDERCUT AND RECOMPACTED.
5. FILL SHALL BE PLACED IN UNIFORM LIFTS HAVING A MAXIMUM LOOSE THICKNESS OF 9". COMPACTION BELOW SLABS AND PAVING AND WALKS SHALL BE AT LEAST 95% OF STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY. COMPACT TO 90% AT OTHER LOCATIONS. MAINTAIN MOISTURE CONTENT OF CONTROLLED FILL ABOVE OPTIMUM DURING PLACEMENT AND COMPACTION.
6. THE ENTIRE SITE SHALL BE FINE GRADED WITH ELEVATION TOLERANCE OF 0.1 FOOT.
7. OBSERVATION AND TESTING OF FILL OPERATION SHALL BE BY THE SOILS ENGINEER HIRED BY THE OWNER.
8. ALL PROPOSED SPOT ELEVATIONS ARE TO TOP OF PAVEMENT OR FINISH GRADE, UNLESS OTHERWISE NOTED.

H.C. STALLS, RAMPS AND ADAAG NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING THE PROPOSED SPOT ELEVATIONS, SIDEWALK SLOPES, STRIPING, SIGNAGE AND RAMP DETAILS TO MEET CURRENT REQUIREMENTS OF SUDAS, MUTCD, DOJ AND ADAAG.
2. THE CONTRACTOR SHALL VERIFY WITH THE CITY INSPECTOR THAT THE RAMP, SIDEWALK, AND PARKING AREAS ARE CONSTRUCTED PROPERLY TO MEET STANDARDS.
3. SHOULD DISCREPANCIES OCCUR ON THE PLAN OR WHAT IS REQUIRED BY THE INSPECTOR, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.
4. PERFORMING THE WORK THE WAY THE CONTRACTOR HAS FOR THE LAST XX YEARS ON OTHER APPROVED PROJECTS WILL NOT BE AN EXCUSE FOR NON-COMPLIANCE WITH THESE REQUIREMENTS.

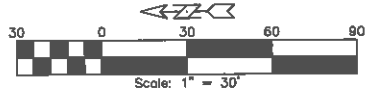
PROVIDE SILT FENCE AROUND ANY AND ALL STORM SEWER INTAKES UNTIL PAVING IS PLACED. TAKE ALL NECESSARY MEASURES TO PROTECT AGAINST EROSION AND DUST POLLUTION ON THIS PROJECT SITE AND ON ALL OFF-SITE BORROW OR SPOIL AREAS.



BENCHMARKS:

WDM B.M. 045
2400 BLOCK OF GRAND AVENUE, 114 FEET
SOUTHEAST OF THE CENTERLINE OF GRAND
AVENUE, 54 FEET NORTHWEST OF THE
CENTERLINE OF THE IOWA INTERSTATE
RAILROAD, 118 FEET WEST OF THE
CENTERLINE OF THE ENTRANCE TO RACCOON
RIVER REGIONAL PARK.
WDM DATUM = 43.26

WDM B.M. 126
SOUTHWEST CORNER OF GRAND AVENUE AND
E.P. TRUE PARKWAY, 10 FEET WEST OF BACK
OF WALK AND 77 FEET SOUTH OF TRAFFIC
SIGNAL POLE AT THE SOUTHWEST CORNER OF
E.P. TRUE PARKWAY AND GRAND AVENUE.
WDM DATUM = 69.22



2

IOWA CHRISTIAN ACADEMY FIELD HOUSE - GRADING PLAN

ERC
Engineering Resource Group, Inc.
Engineers and Surveyors
8413 GRAND AVENUE
DES MOINES, IOWA 50312
(515) 286-4863

13-178

NO.	REVISION	DATE	BY	FOR	LOCATION	SCALE:	1" = 30'	DESIGNED BY:	DJS	DRAWN BY:	PJM
						DWG:	13-178-GRD.dwg	CHECKED BY:			
						FIELD BOOK:		SHEET	2	OF	10
								FILE NO.:			13-178

NOTE:

THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

THE BUILDING WILL CONTAIN A FIRE SPRINKLER SYSTEM

STORM AND SANITARY SEWERS WITH CONSTRUCTION NOTES AND HEAVY LINES ARE PROPOSED. ALL OTHER SEWERS ARE EXISTING.

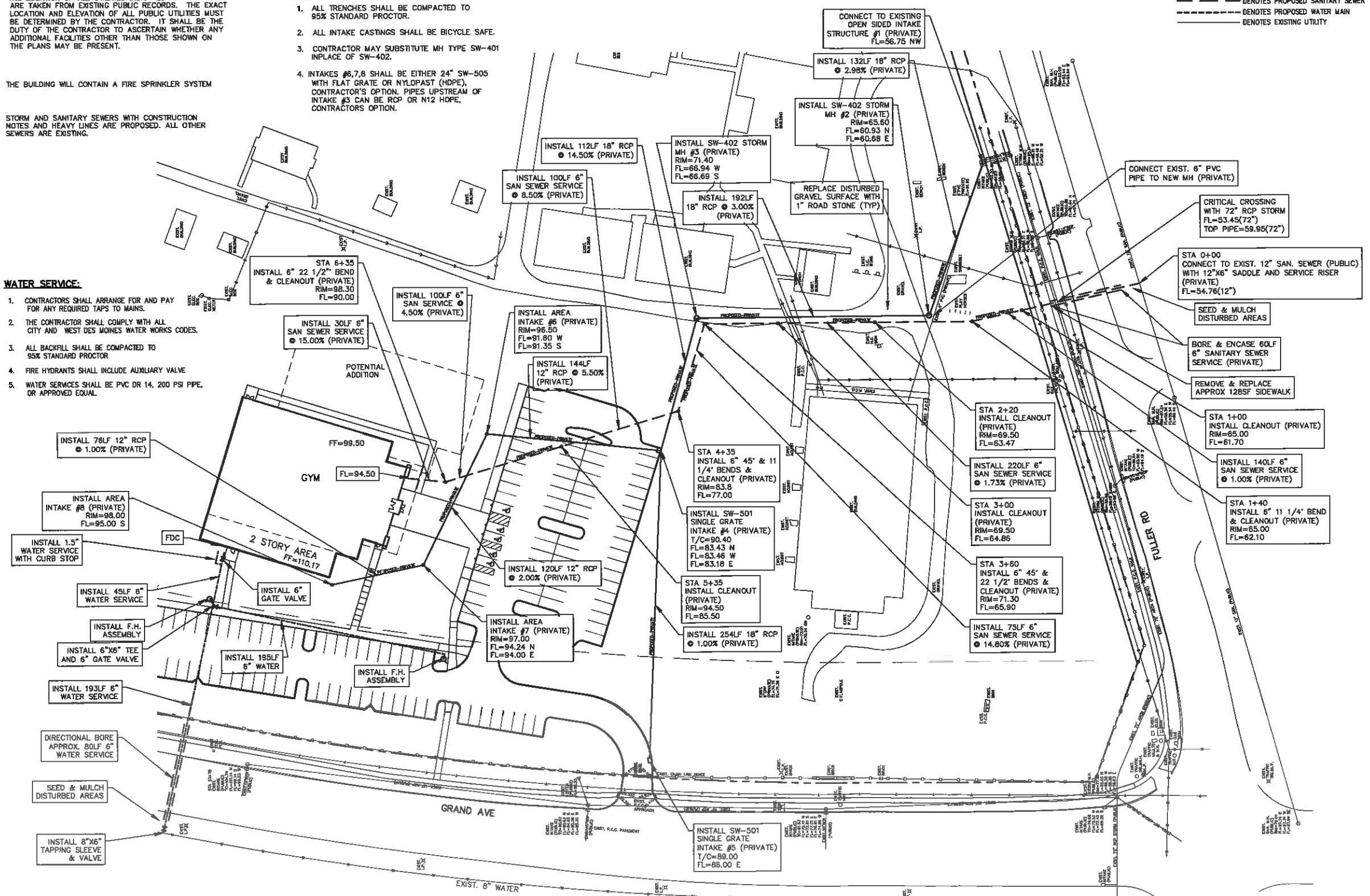
STORM SEWERS:

1. ALL TRENCHES SHALL BE COMPACTED TO 95% STANDARD PROCTOR.
2. ALL INTAKE CASTINGS SHALL BE BICYCLE SAFE.
3. CONTRACTOR MAY SUBSTITUTE MH TYPE SW-401 IN PLACE OF SW-402.
4. INTAKES #6,7,8 SHALL BE EITHER 24" SW-505 WITH FLAT GRATE OR NYLOPAST (HDPE), CONTRACTOR'S OPTION. PIPES UPSTREAM OF INTAKE #3 CAN BE RCP OR N12 HDPE, CONTRACTOR'S OPTION.

- DENOTES PROPOSED STORM SEWER
- DENOTES PROPOSED SANITARY SEWER
- DENOTES PROPOSED WATER MAIN
- DENOTES EXISTING UTILITY

WATER SERVICE:

1. CONTRACTORS SHALL ARRANGE FOR AND PAY FOR ANY REQUIRED TAPS TO MAINS.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CITY AND WEST DES MOINES WATER WORKS CODES.
3. ALL BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR
4. FIRE HYDRANTS SHALL INCLUDE AUXILIARY VALVE
5. WATER SERVICES SHALL BE PVC DR 14, 200 PSI PIPE, OR APPROVED EQUAL.



IOWA CHRISTIAN ACADEMY FIELD HOUSE - UTILITY PLAN

ERG
Engineering Resources Group, Inc.
Engineers and Surveyors
2413 GRAND AVENUE
DES MOINES, IOWA 50312
(515) 266-4663

NO.	REVISION	DATE	BY	FOR	LOCATION	SCALE	1" = 40'	DWG.	13-178-UTL2.dwg	CHECKED BY	DATE	FILE NO.	13-178

THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

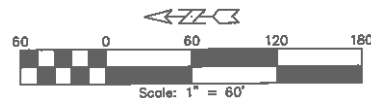
692 TREES TOTAL
31 TREES REMOVED
661 TREES REMAIN

EXISTING STORM SEWER EASEMENT
BK 12743 PG 781-790 (2008)

17' ADDITIONAL ROW TO BE PROVIDED TO THE CITY

10' ADDITIONAL ROW TO BE PROVIDED TO THE CITY

C1
RADIUS = 2810.00'(M&R)
LENGTH = 1089.18'(M) 1089.2'(R)
DELTA = 22°12'30"(M&R)
CHORD = 1082.37'
BEARING = N11°04'15"E



INSTALL 4
SIDEWALK

N69°55'48"W 121.08

NOV 02 00 W 190 02

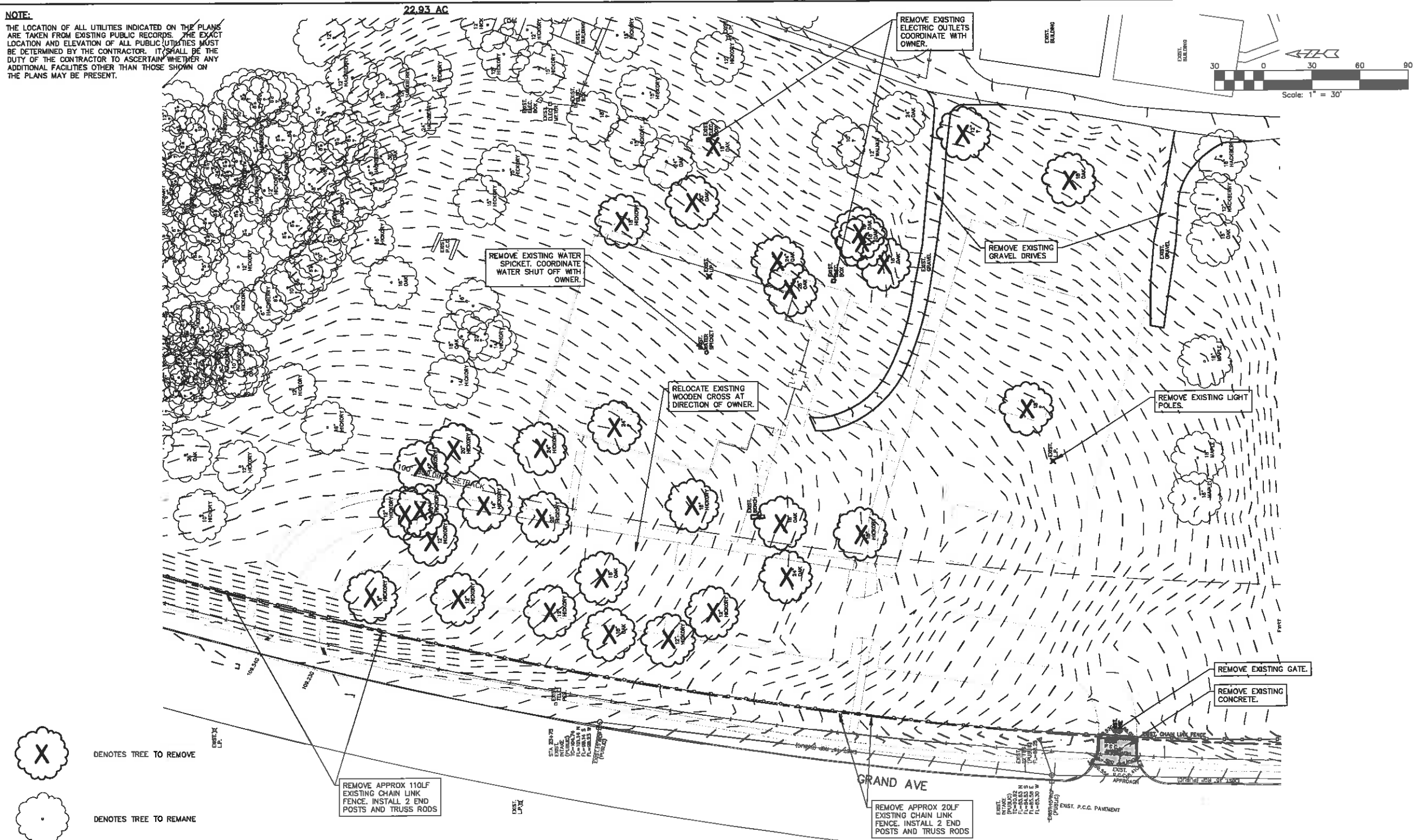
IOWA CHRISTIAN ACADEMY FIELD HOUSE - PROJECT MAP

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Engineering Resource Group, Inc.
Engineers and Surveyors
2413 GRAND AVENUE
DES MOINES, IOWA 50312
(515) 298-4823

NO.	REVISION	DATE	BY	FOR:	LOCATION:	SCALE:	DESIGNED BY:	D.S	DRAWN BY:	P.V
						1" = 80'				
						DWG: 13-17B-PR.dwg	CHECKED BY:			04/17/14
						FIELD BOOK:	SHEET 4	OF 10		FILE NO.: 13-17B

13-178

NOTE:
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LEGEND

DENOTES TREE TO REMOVE

DENOTES TREE TO REMANE

SITE DEMOLITION
EXTENT OF WORK
The extent of work includes the removal of existing pavements, landscaping, retaining walls, lighting, appurtenances. This section also covers the removal, salvage and storage of existing items on site.

GENERAL
Provide temporary barricades and other forms of protection as required to protect personnel and public from injury due to demolition work, and preclude access to the area of construction. Provide temporary barricades and other forms of protection for trees and other landscaping to be saved from removal and demolition.
Remove all vegetation, improvements, or obstructions within the limits of the construction as noted on the plan. Note that adjacent properties disturbed by this action shall be repaired upon damage and barricaded to prevent future occurrences. Comply with the environmental protection and safety requirements of the Owner and all governmental authorities having jurisdiction. Keep dust to a minimum. Maintain streets and walks free of mud, dirt and debris. The contractor shall supply his/her own portable toilets.

REMOVAL OF ABOVE-GRADE IMPROVEMENTS
Remove all improvements shown on the drawings.
Remove all pavement and base course materials to provide clean area for new construction. Transport materials from site as they are removed.
Sawcut existing pavements to provide clean straight edges for new construction.
Do not try to jack hammer or attempt to break off existing pavements to provide clean edges.
Removals of signs, bike racks, and other small items in conflict with new improvements shall be removed.

REMOVAL OF BELOW-GRADE IMPROVEMENTS
Remove all substructures including but not limited to footings and foundation walls, pile bents, as well as loose, soft or otherwise unsuitable backfill materials adjacent to these structures. All backfill shall be compacted to 95% standard proctor.
Observation and testing of fill operation shall be by the soils engineer hired by the contractor.
Remove any conduits, cables, pipe or other materials associated with the underground structures, unless directed otherwise by the Owner's Representative.

DISPOSAL OF WASTE MATERIALS
Burning on Property: Burning of combustible cleared and grubbed materials is not permitted on the Owner's property. All plant material denoted for demolition shall be removed from site.
Removal from Property: Remove all waste materials and unsuitable soil from the Owner's property and legally dispose of it. Disposal methods and locations are at the Contractor's option, but in no case shall the Contractor engage in illegal dumping, disposing on the Owner's property, or other acts in conflict with local and state ordinances and laws. All cost associated with transporting and disposal of material shall be born by the contractor.

EXISTING UTILITIES
Locate existing underground utilities in the areas of work before starting demolition operations. If utilities are to remain in place, provide adequate means of protection during demolition operations.
Should uncharted or incorrectly charted piping or other utilities be encountered during excavation, consult the Owner's representative immediately for directions as to procedure. Cooperate with the Owner and public and private utility companies in keeping their respective services and facilities in operation. The contractor shall coordinate the work with all utilities including gas, electricity, phone. The contractor shall remove any abandoned poles, pedestals and other structures.

TEMPORARY PROTECTION
Barricade open excavations made as a part of earthwork operations and post with warning lights. Operate warning lights during hours from dusk to dawn each day and as otherwise required and may be required by local codes.
Protect structures, utilities, sidewalks, pavements and other facilities on and off the site from damages caused by settlement, lateral movement, undermining, washout and other hazards created by earthwork operations.

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Engineers and Surveyors
2415 GRAND AVENUE
DES MOINES, IOWA 50312
DES (515) 268-4823

13-178

IOWA CHRISTIAN ACADEMY FIELD HOUSE - DEMOLITION PLAN

NO.	REVISION	DATE	BY	FOR

LOCATION:

SCALE: 1" = 30'	DESIGNED BY: D.J.S.	DRAWN BY: P.J.V.
DWG: 13-178-DMG.dwg	CHECKED BY:	DATE: 04/17/14
FIELD BOOK:	SHEET 5 OF 10	FILE NO: 13-178

THE LOCATION OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL PUBLIC UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

ALL DISTURBED SOIL AREA SHALL BE RESTORED BY SEEDING OR SODDING.

Off Street Parking Areas

Street Parking Area

2 trees per 9 x 34' island	(2 islands = 4 trees)
1 tree per 9 x 17' island	(4 islands = 4 trees)
1 tree per landscape pod(8 pods = 8 trees)	
Totals trees required	(16 trees)

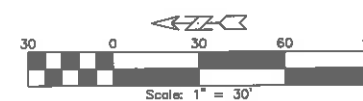
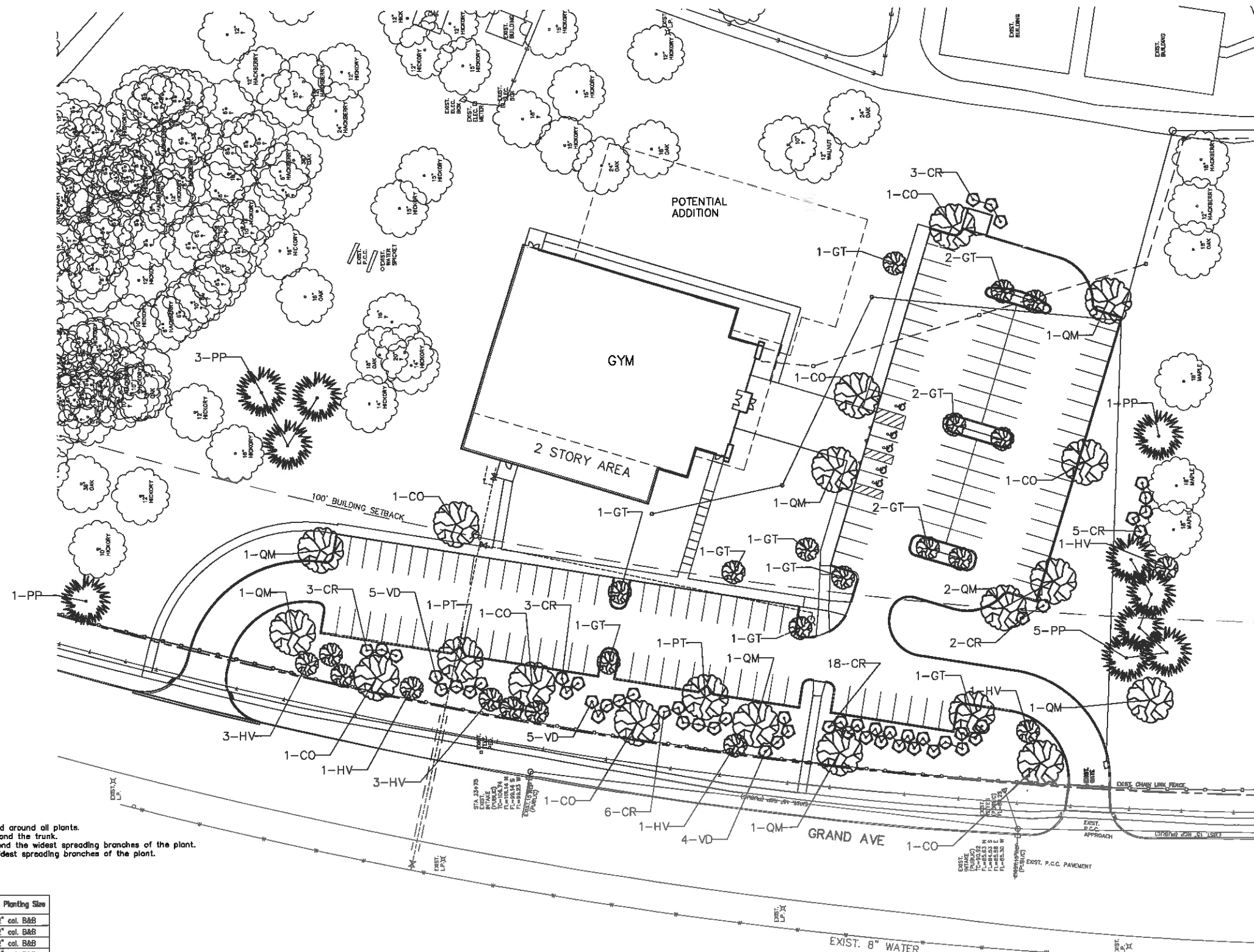
25% open space required
Total site = 998,615 sf 25% = 249,654 sf of open space
2 trees and 3 shrubs per 3,000 sf of open space
50% of trees must be overstory or evergreen
Required plants on site = 166 trees and 249 shrubs
Existing plants on site = 561 existing trees

- 16 Overstory Trees

Plants To Be Planted
 = 32 Overstory Trees
 = 10 Evergreen Trees
 = 46 Large Shrubs
 = 14 Medium Shrubs

- A 3 inch thickness of shredded hardwood mulch shall be installed around all plants.
- Deciduous trees shall have a ring of mulch up to 24 inches beyond the trunk.
- Evergreen trees shall have a ring of mulch up to 12 inches beyond the widest spreading branches of the plant.
- Shrubs shall have a ring of mulch up to 8 inches beyond the widest spreading branches of the plant.

Code	Common Name	Botanical Name	Qty	Min. Planting Size
CO	Shagbark Hickory	<i>Corya ovata</i>	8	2" cal. B&B
GT	Thornless Common Honeylocust	<i>Gleditsia triacanthos 'Inermis'</i>	14	2" cal. B&B
QM	Bur Oak	<i>Quercus macrocarpa</i>	9	2" cal. B&B
PT	Quaking Aspen	<i>Populus tremuloides</i>	2	2" cal. B&B
PP	Northern Colorado Blue Spruce	<i>Picea pungens</i>	10	6" tall, B&B
VD	Arrowwood Viburnum	<i>Viburnum dentatum</i>	14	2" tall, cont.
HV	Common Witch-hazel	<i>Hamamelis virginiana</i>	10	3" tall, cont.
CR	Gray Dogwood	<i>Cornus racemosa</i>	40	3" tall, cont.



6

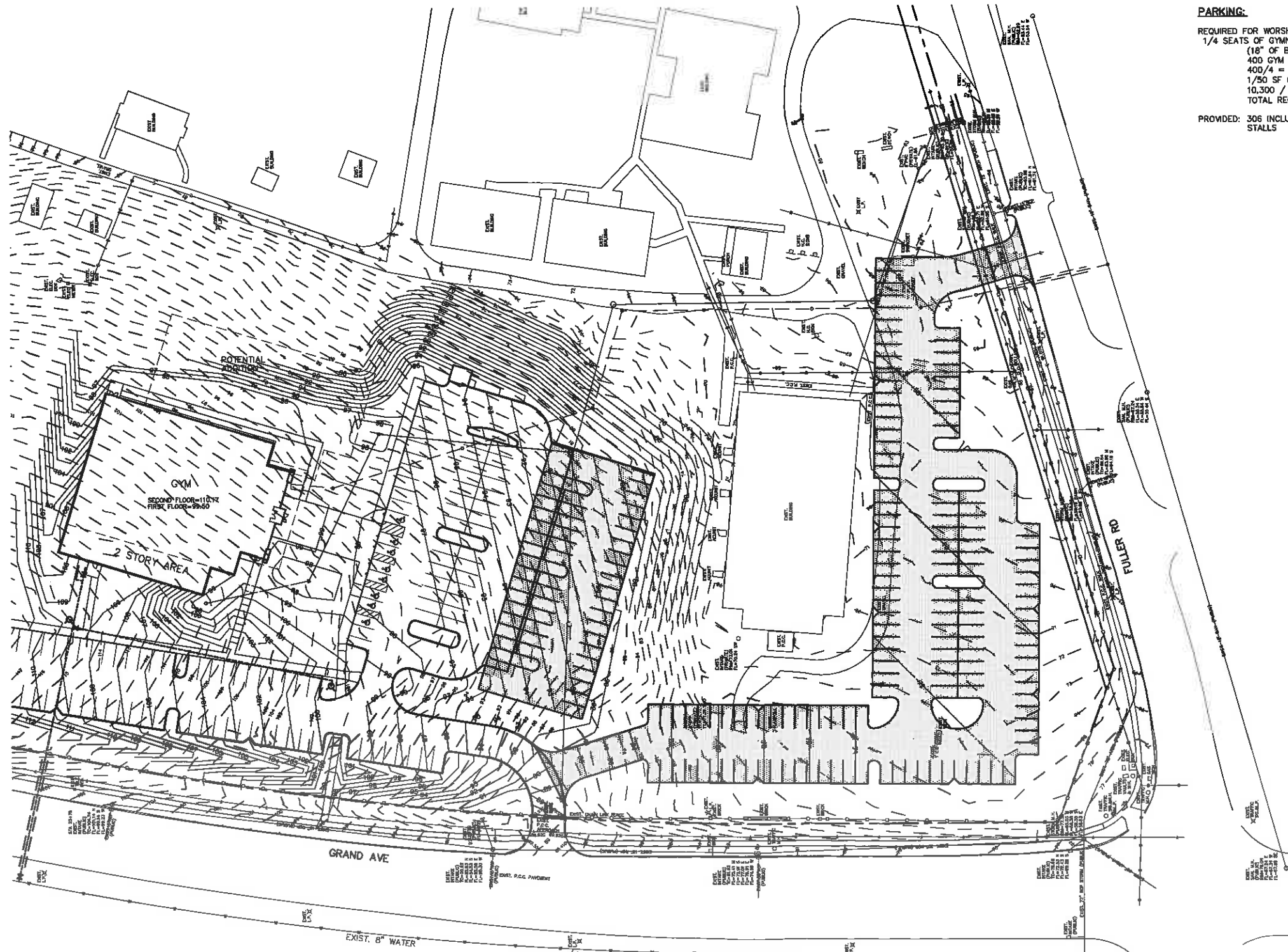
IOWA CHRISTIAN ACADEMY FIELD HOUSE - LANDSCAPE PLAN

NO.	REVISION	DATE	BY	FOR	LOCATION:	SCALE:	1" = 30'	DESIGNED BY:	DJS	DRAWN BY:	PJV
						DWG:	13-178-LND-dwg	CHECKED BY:		DATE:	04/17/14
						FIELD BOOK:		SHEET	6	OF	10
								FILE NO.:			13-178

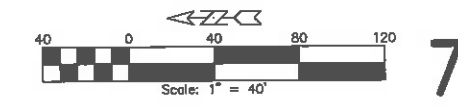
ERG
Engineering Resource Group, Inc.
Engineers and Surveyors
2413 GRAND AVENUE
DES MOINES, IOWA 50312
(515) 286-4829

13-178

NOTE:
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PARKING:
REQUIRED FOR WORSHIP SERVICE:
1/4 SEATS OF GYMNASIUMS
(18\"/>



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(515) 288-4893

IOWA CHRISTIAN ACADEMY FIELD HOUSE - FUTURE PARKING

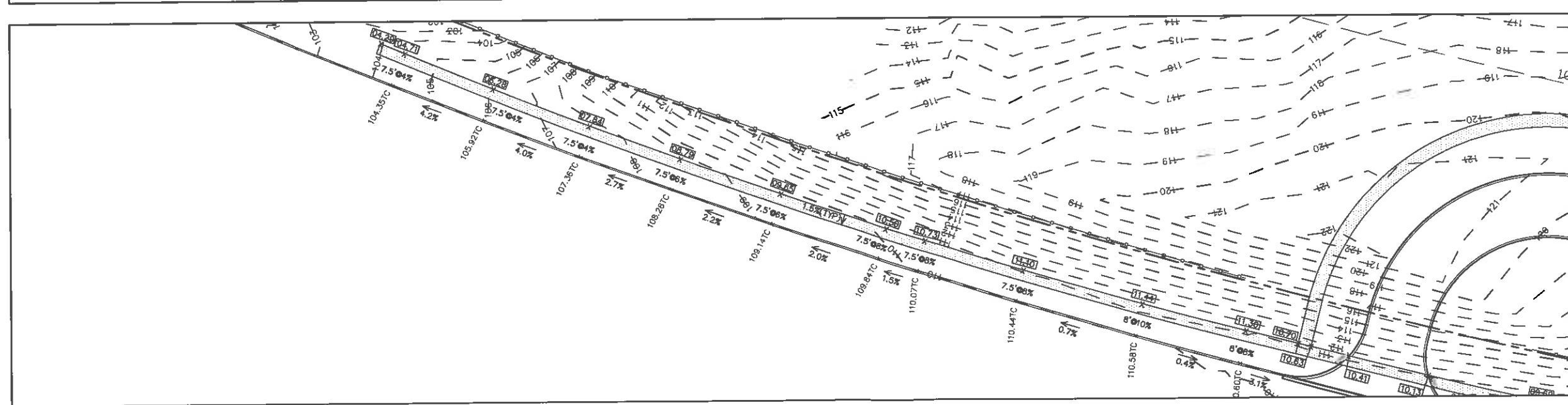
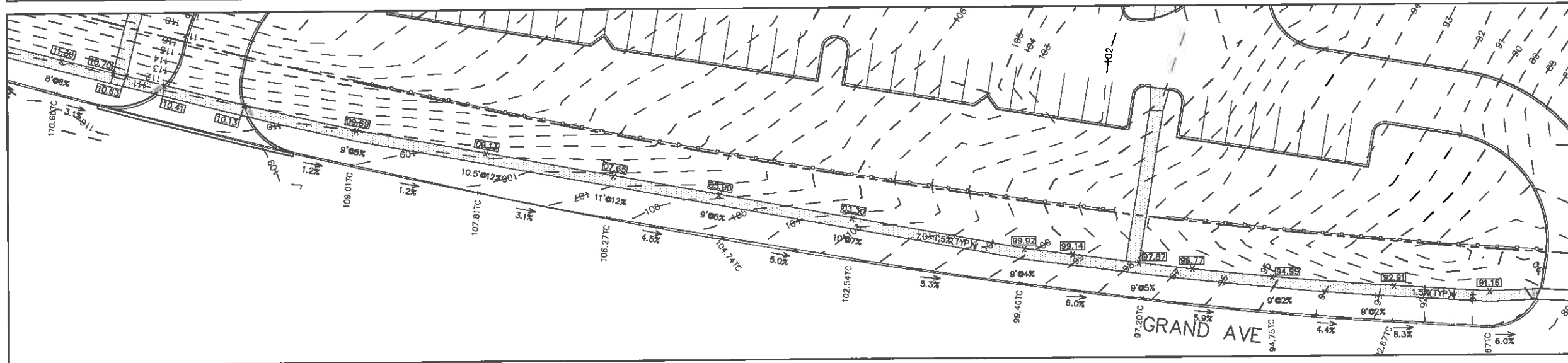
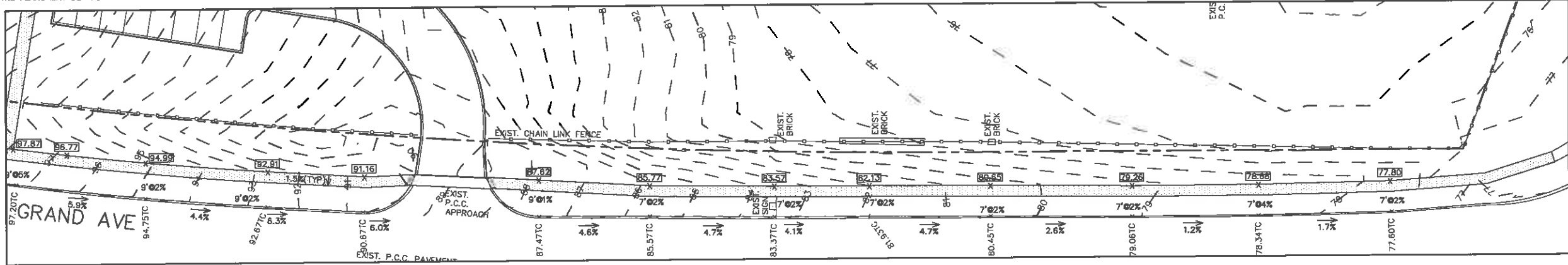
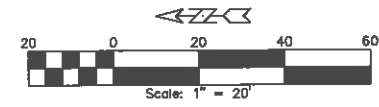
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						DWG: 13-178-PARKING.dwg	CHECKED BY:	DATE: 04/17/14
						FIELD BOOK	SHEET 7 OF 10	FILE NO: 13-178

NOTE:

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LEGEND:

- 8' @ 8% DENOTES DISTANCE OF FACE OF SIDEWALK TO BACK OF CURB AND PROPOSED SLOPE.
- 3.1% DENOTES LONGITUDINAL SLOPE OF SIDEWALK



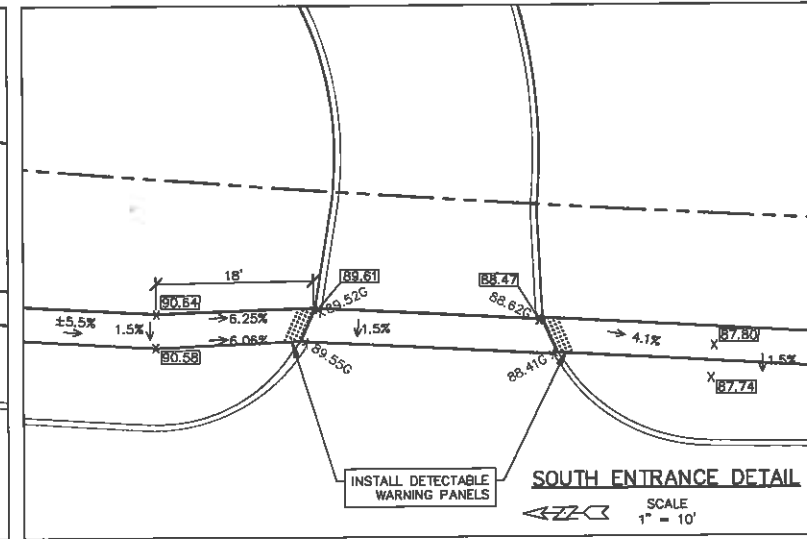
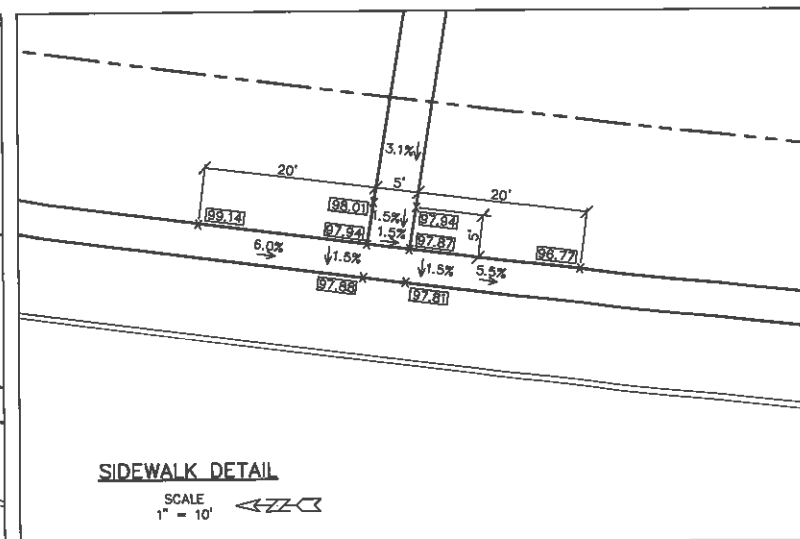
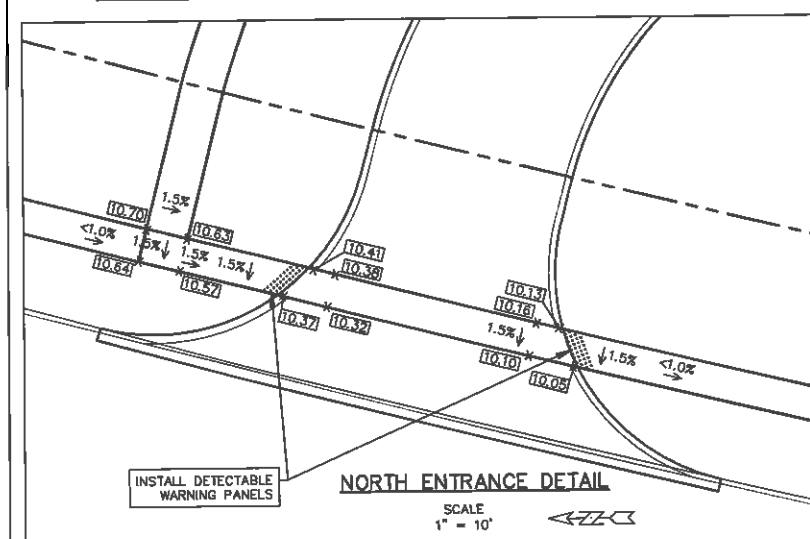
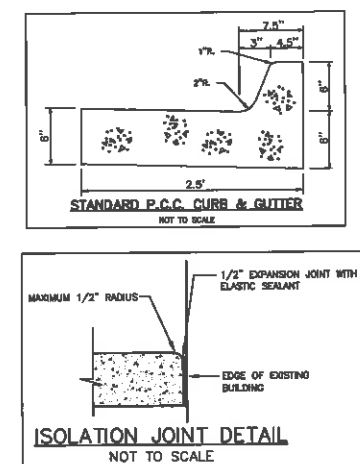
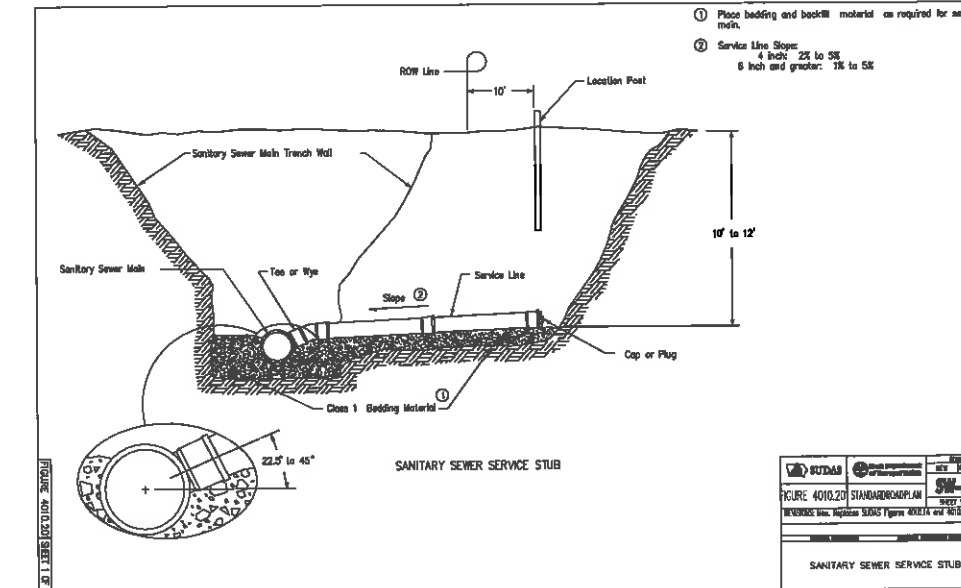
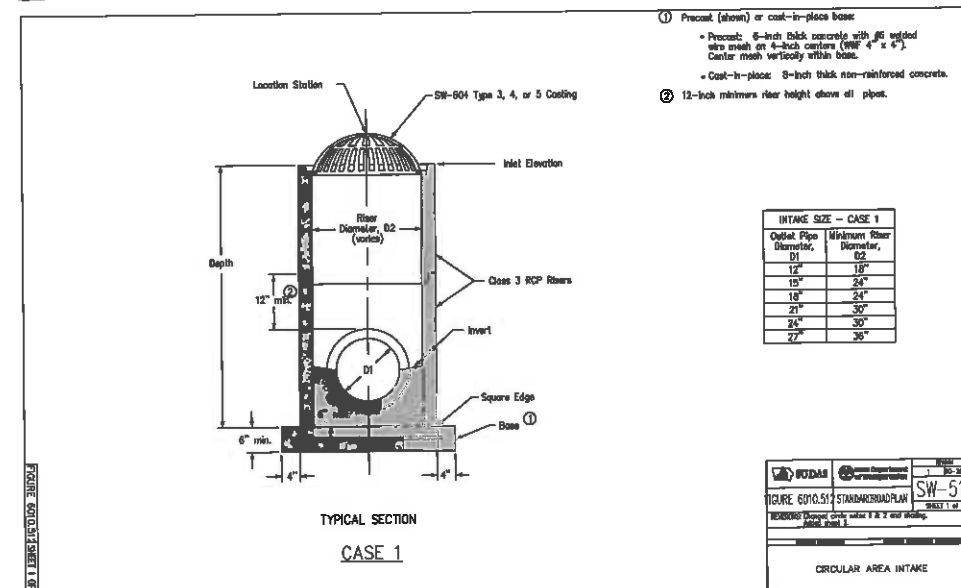
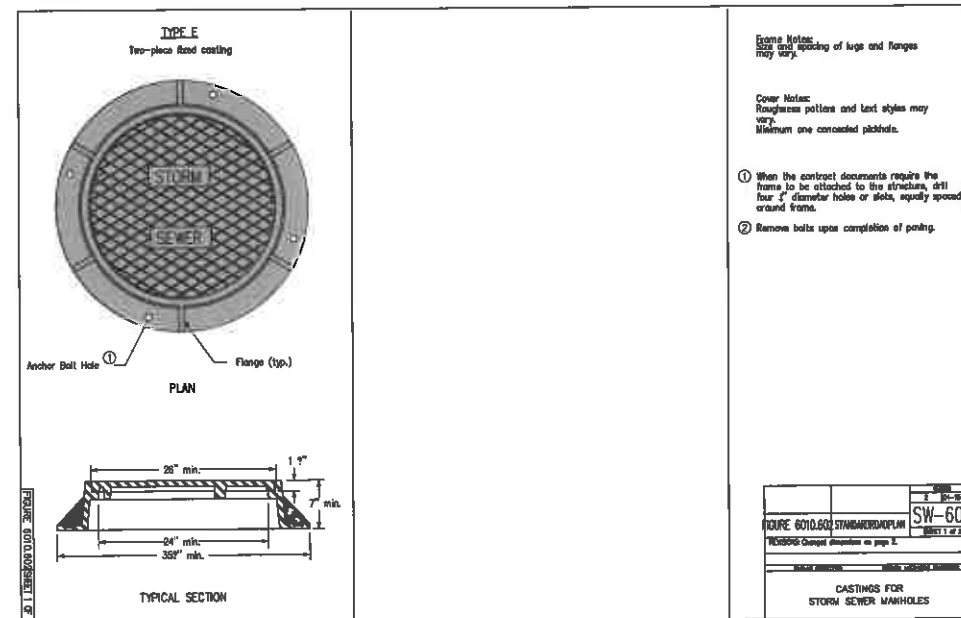
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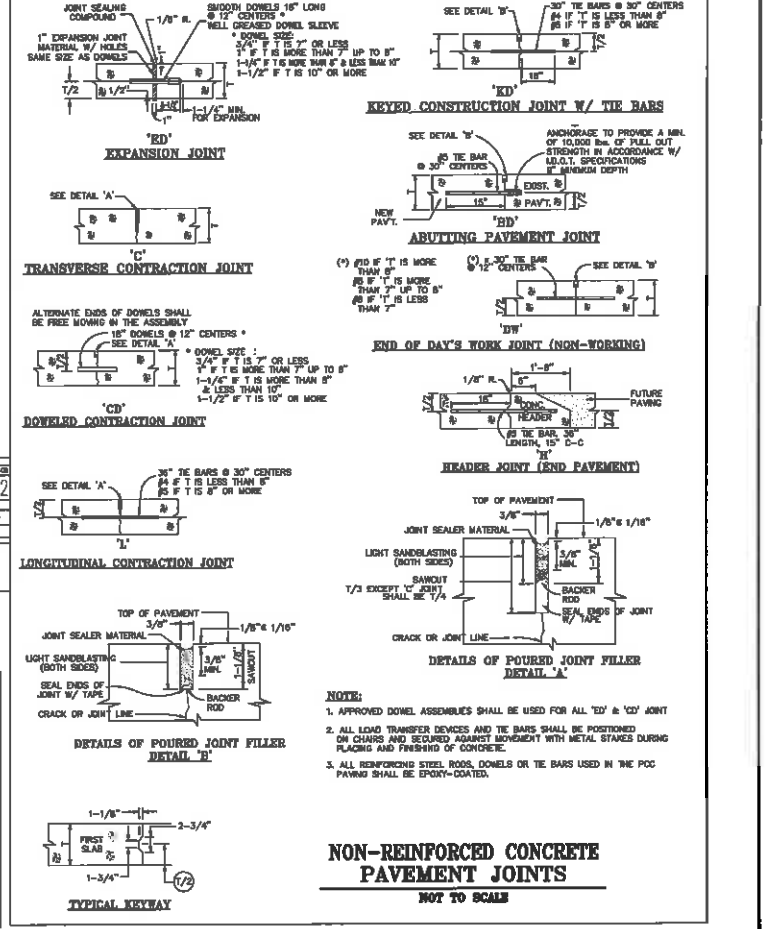
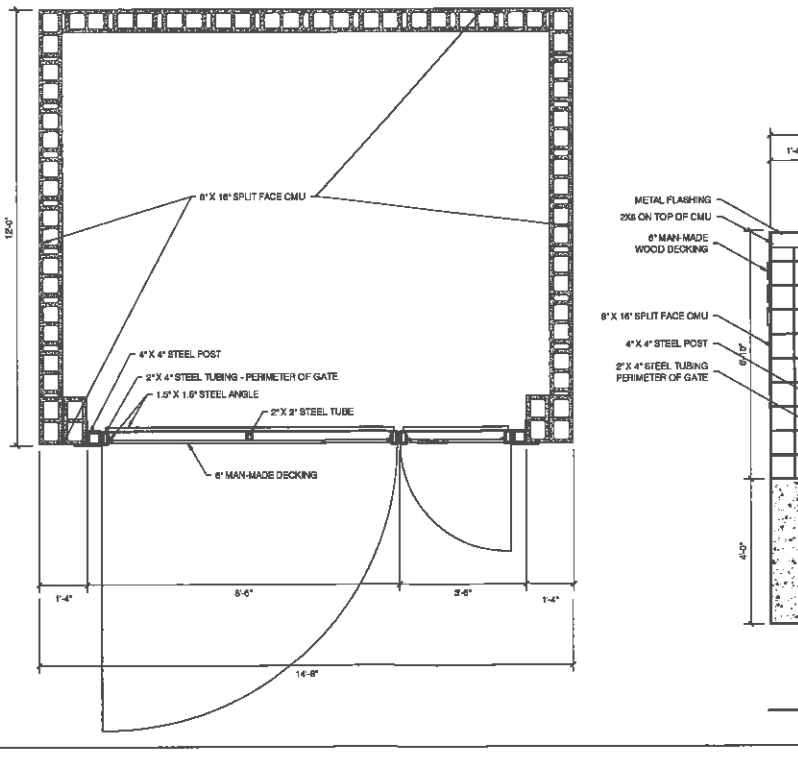
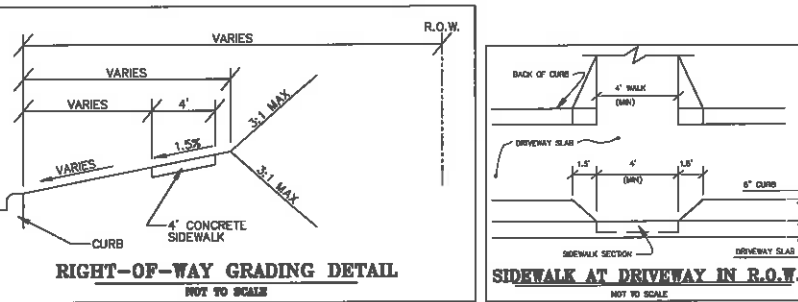
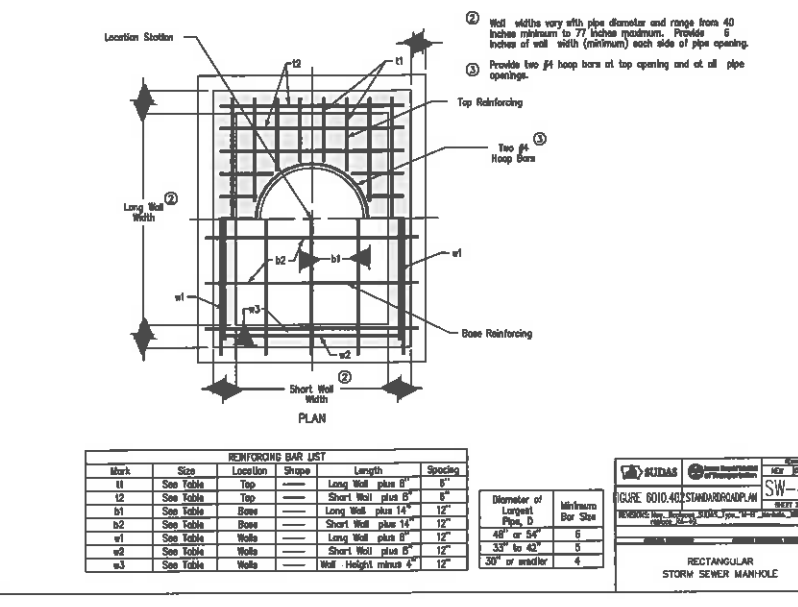
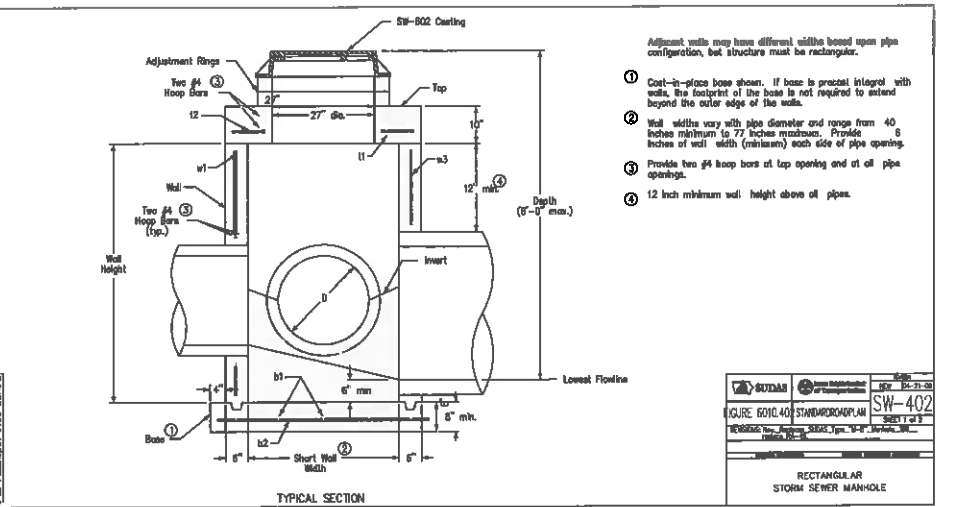
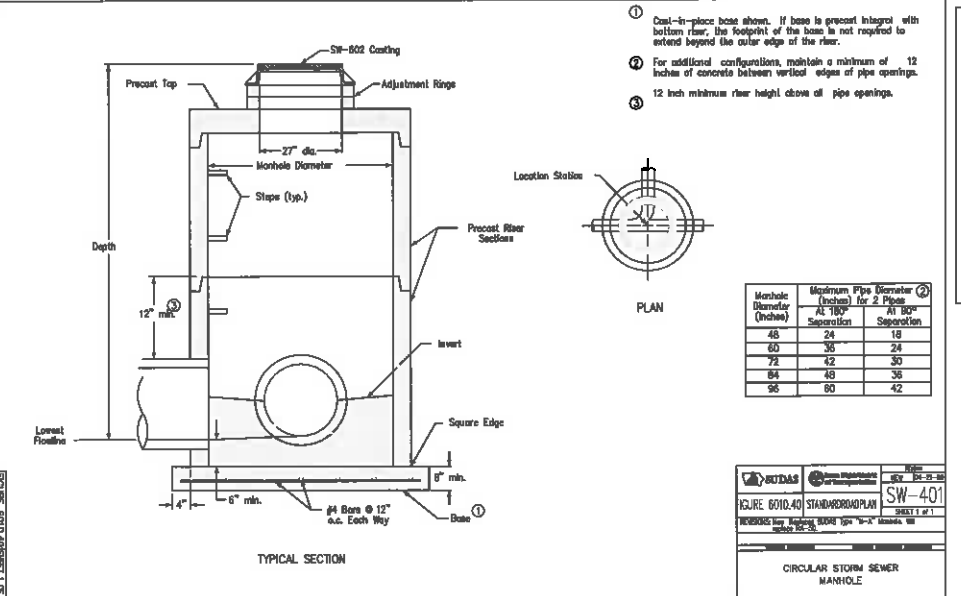
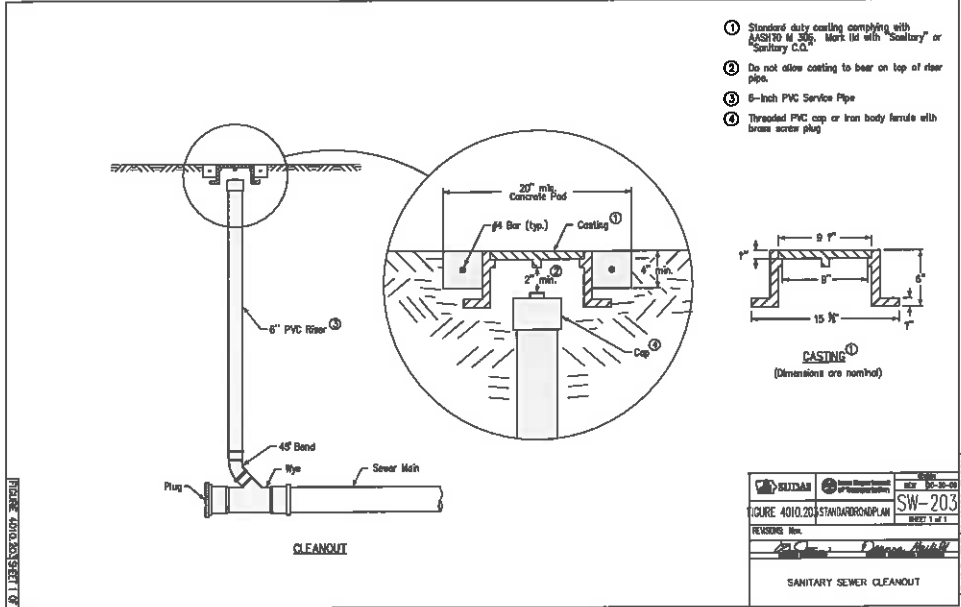
ERG
Engineering Resource Group, Inc.
Engineers and Surveyors
2413 GRAND AVENUE
DES MOINES, IOWA 50312
(515) 266-4823

13-178

IOWA CHRISTIAN ACADEMY FIELD HOUSE - SIDEWALK DETAIL

NO.	REVISION	DATE	BY	FOR:	LOCATION:	DESIGNED BY:		DRAWN BY:	
						SCALE:	DWG:	CHECKED BY:	DATE:
						1" = 20'	13-178-SW.dwg	8	04/17/14
								10	
								OF	
								FIELD BOOK:	13-178







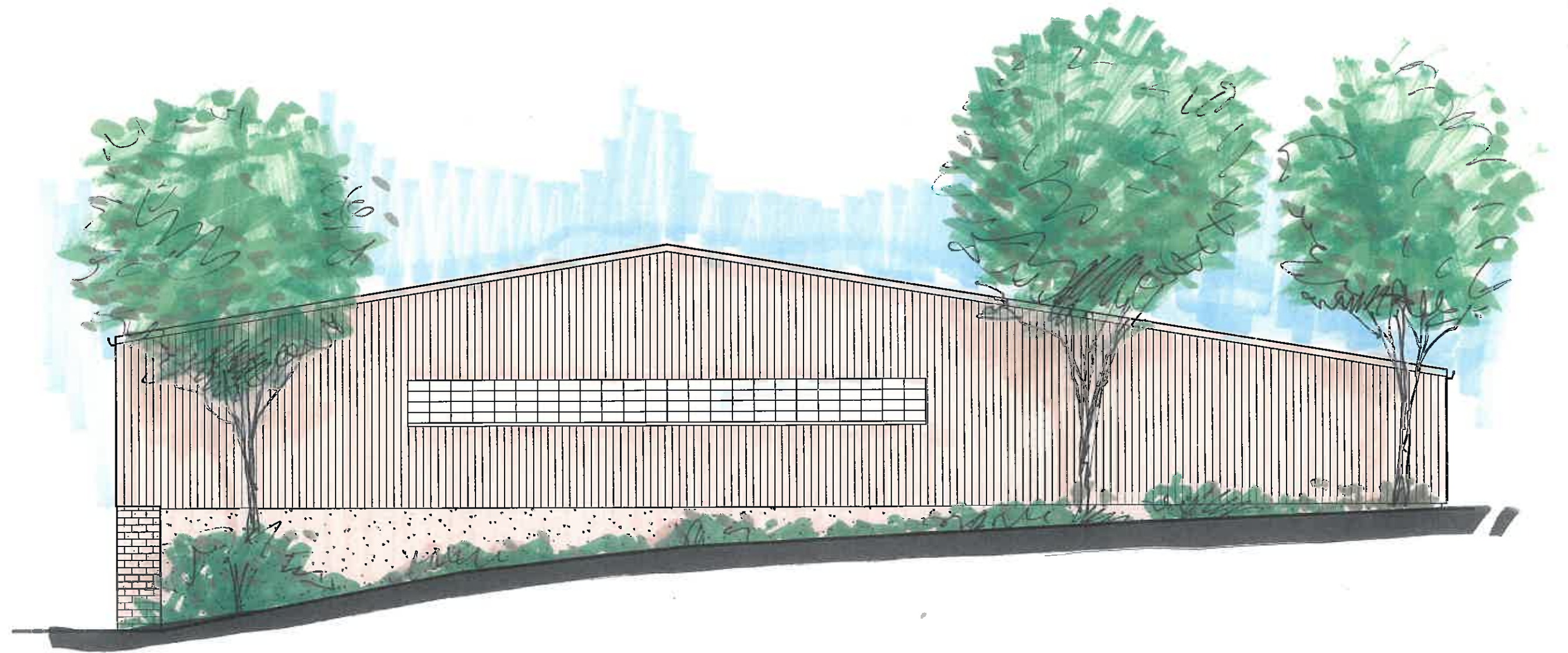
IOWA CHRISTIAN ACADEMY

SOUTH ELEVATION - WEST DES MOINES, IOWA



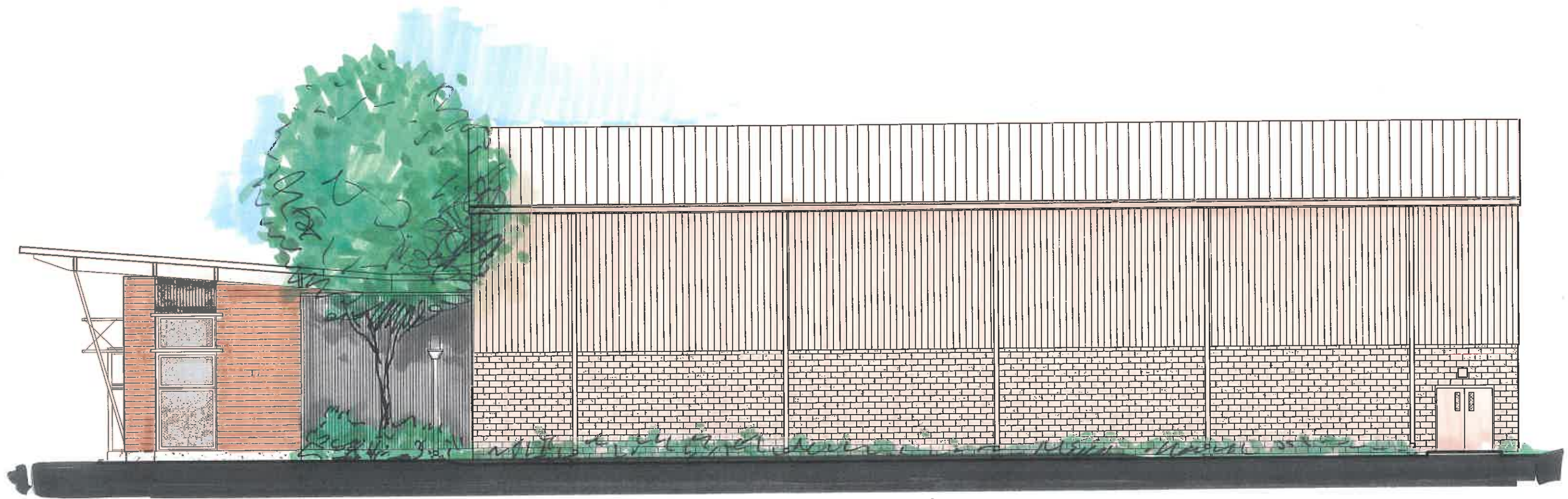
IOWA CHRISTIAN ACADEMY

WEST ELEVATION - WEST DES MOINES, IOWA



IOWA CHRISTIAN ACADEMY

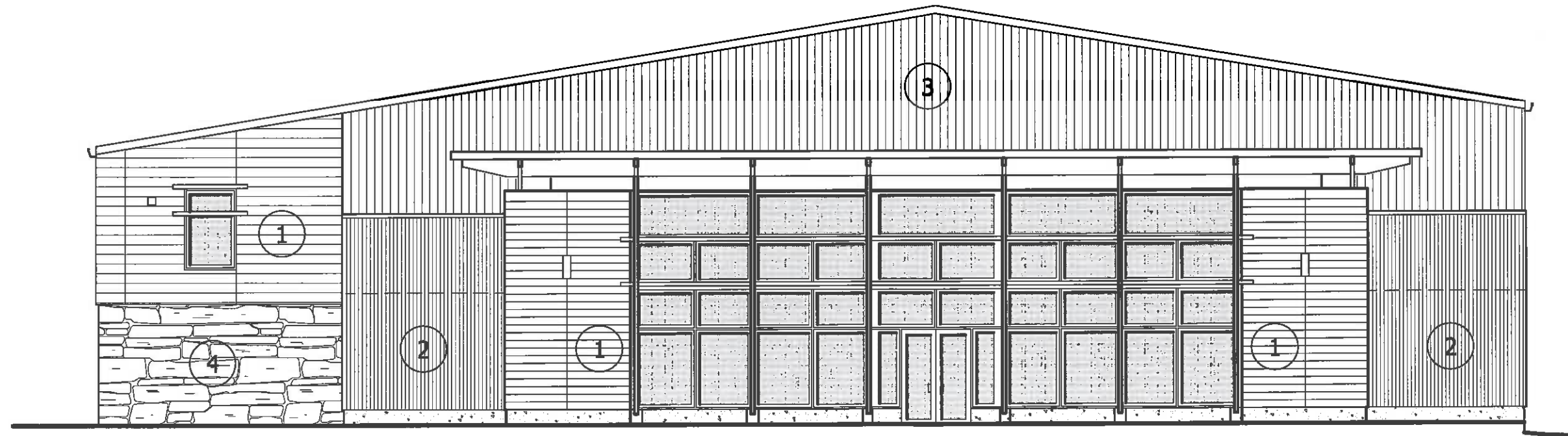
NORTH ELEVATION - WEST DES MOINES, IOWA



IOWA CHRISTIAN ACADEMY

EAST ELEVATION - WEST DES MOINES, IOWA

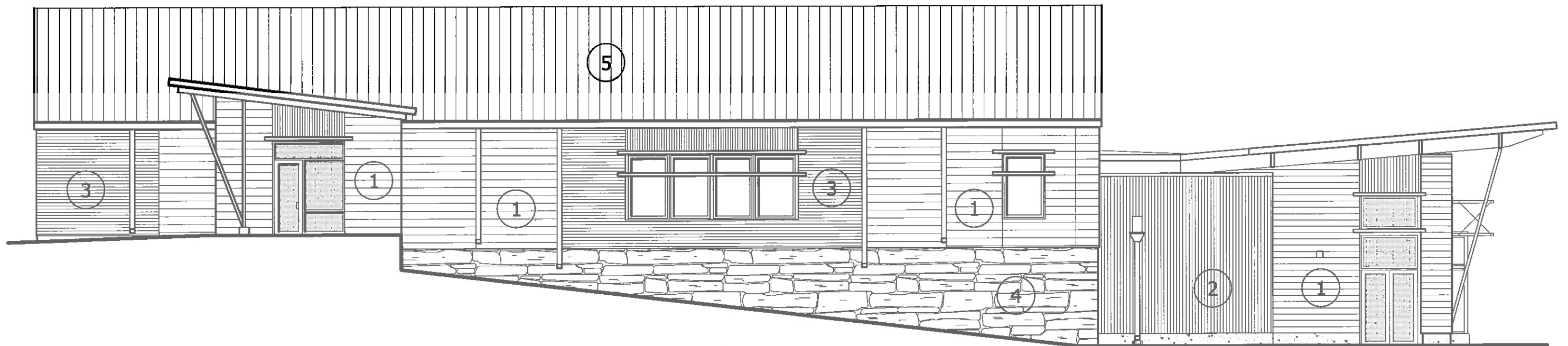
RECEIVED
APR 17 2014



IOWA CHRISTIAN ACADEMY

SOUTH ELEVATION - WEST DES MOINES, IOWA

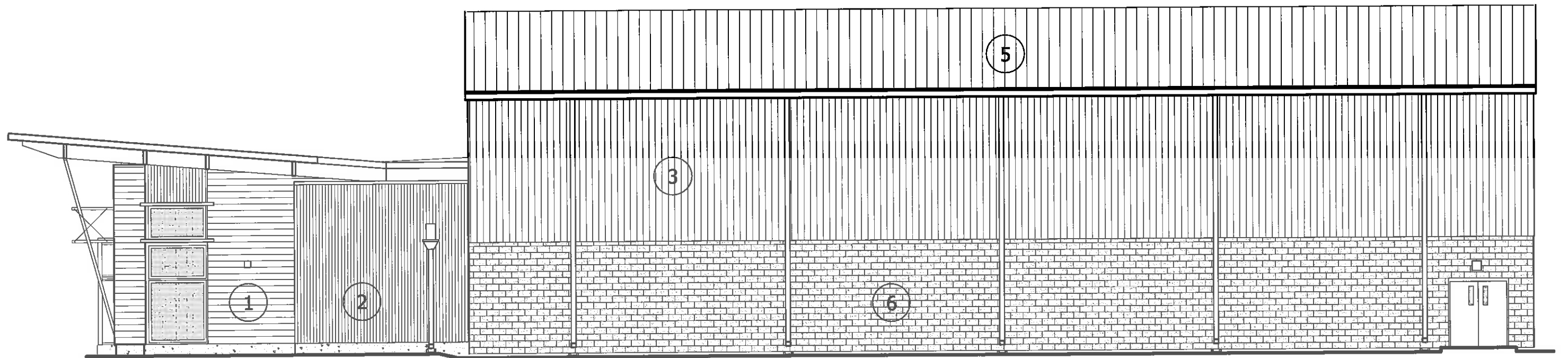
- 1 PROPOSED MAN-MADE WOOD PANELS
- 2 PROPOSED COOL WEATHERED COPPER - METAL PANEL
- 3 PROPOSED COOL SIERRA TAN - METAL PANEL
- 4 PROPOSED CHANGE TO HORIZONTAL LOOK
LIMESTONE PATTERN OR LOOK-A-LIKE



IOWA CHRISTIAN ACADEMY

WEST ELEVATION - WEST DES MOINES, IOWA

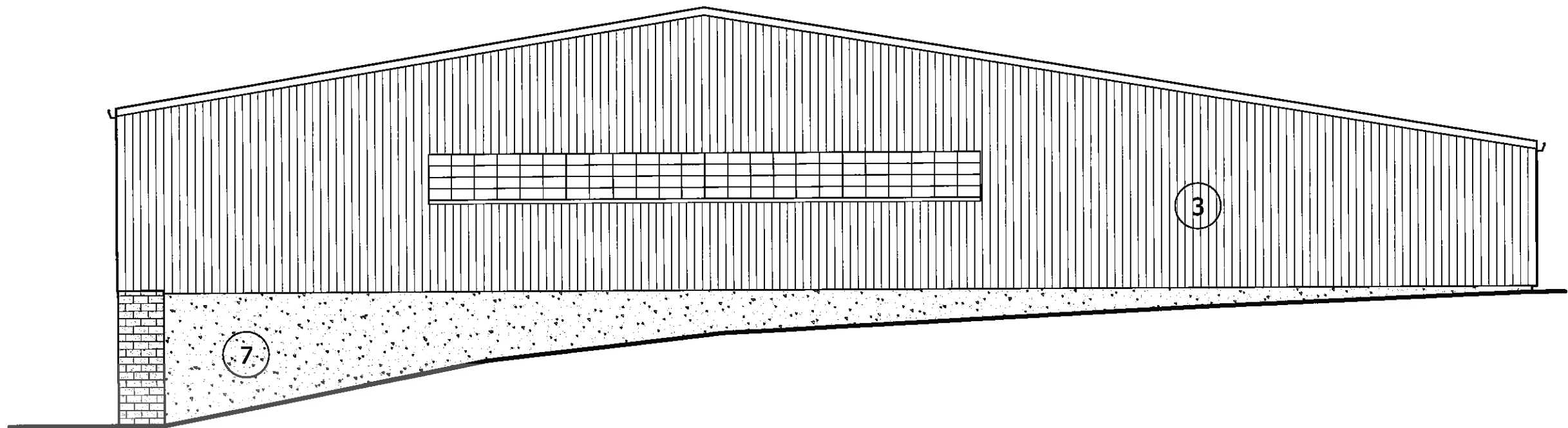
- 1 PROPOSED MAN-MADE WOOD PANELS
- 2 PROPOSED COOL WEATHERED COPPER - METAL PANEL
- 3 PROPOSED COOL SIERRA TAN - METAL PANEL
- 4 PROPOSED CHANGE TO HORIZONTAL LOOK
LIMESTONE PATTERN OR LOOK-A-LIKE
- 5 PROPOSED ROOF METAL PANEL - COLOR SELECTED
FROM STANDARD COLORS. APPROVAL BY CITY.
(TOP OF ROOF MAY NOT BE VISIBLE FROM STREET)



IOWA CHRISTIAN ACADEMY

EAST ELEVATION - WEST DES MOINES, IOWA

- 1 PROPOSED MAN-MADE WOOD PANELS
- 2 PROPOSED COOL WEATHERED COPPER - METAL PANEL
- 3 PROPOSED COOL SIERRA TAN - METAL PANEL
- 5 PROPOSED ROOF METAL PANEL - COLOR SELECTED FROM STANDARD COLORS. APPROVAL BY CITY. (TOP OF ROOF MAY NOT BE VISIBLE FROM STREET)
- 6 PROPOSED SPLIT-FACED CMU BLOCK - TAUPE COLOR



- 3 PROPOSED COOL SIERRA TAN - METAL PANEL
- 7 PROPOSED CONCRETE RETAINING WALL (FOR STRENGTH) PAINT TAUPE COLOR.

IOWA CHRISTIAN ACADEMY

NORTH ELEVATION - WEST DES MOINES, IOWA

The following issues have been addressed by Dave Laugerman as project Architect for the Iowa Christian Academy new gym located along Grand Avenue in West Des Moines, IA.

Building site:

The former Nazarene Camp grounds in West Des Moines is a very special and attractive natural green park located within City limits offering a quick and refreshing escape from the busy City. Hundreds if not thousands of young people socially recreate on this site like no other during the warmer months.

The property will always be known for its comfortable green space cooled by the giant oak trees that brings people together for common activities. Future buildings will need to enhance this site and not take away from it. A Projects that will enhance the site by providing additional quality amenities that are currently lacking.

Building site contextual issues:

Existing camp cabins are slowly being taken down as deemed unsafe as they are literally falling apart. Currently only four cabins are still standing with only one being restored. No additional funds are being allocated to save the other three cabins. The Owner has no plans to save any of these cabins in the future.

Far too often we overly romanticize this piece of ground but in truth it is slowly being changed into something new. Most sites change over time, and this site will too, as many of the older buildings have already been removed making room for the new. Surrounding buildings that have previously defined the contextual built environment are disappearing, making room for a site that is more community friendly and a place for greater numbers to enjoy.

Page two of ICA Contextual issues:

The dormitory buildings will stay for now but are poorly insulated and will need to be rebuilt in the future. The Owner does not have a site master site plan. A master plan appears at his time very limiting for it is currently seen as plan that may actually get in the way of a natural development based upon changing and growing needs.

The larger curve roof assembly building in the SW corner of the site will remain but no additional dollars are being allocated for this building with know plans for improvements.

Last of all the Jordon House as located on the SE corner of the property is located and visible only from Fuller road to the south. Century registered oak trees surround the house along with a painted picket fence. The Jordon House will always remain known for its history during the latter days of slavery. The house although it adjoins the property being discussed, it will never be a part of the current site no more than the building across the street should be considered as part of the Jordon house. From Grand Ave the Jordon House is not even visible.

Proposed building design:

First of all this project is a gym which upfront sets the project scope and general appearance. More importantly the project stays within the social context of this site by bringing people together for year around activities.

Design elements in keeping with in site context:

We are proposing to enhance the site rather than take from it. Our proposed building as shown on Civil plans will tuck into the northern hill to minimize over all height and leave the site more open by not building in the center of the site that is more common. As the building is lowered in to the northern hill the mighty oak trees stay dominant in height.

Building colors are also very important as colors will be chosen from very warm earth tones. Natural wood veneers and stone will further enhance the building as it becomes one with the site.

Page three of ICA Contextual issues:

The large over hanging front building canopy hangs out like a canopy of a tree providing shade and comfort at the base. The sloped bracing that reaches up to the roof framing members again reflects the vertical column bases of all the trees on site. Like the shade from the tree canopy light is soft and comfortable and glare is removed along with the suns heat. Environmentally and practically the design makes sense.

With the parking lot further down the slope parking becomes less dominant. As we move closer to the building the front entrance quickly over powers the larger gym behind and the gym features disappear. Moving forward we can't help but notice the large overhanging roof that seems to float over the space below. A canopy that defines its spaciousness but at the same time bringing us back to the context of the site as we observe the bottom of this great tree like image wrapped on the bottom with wood planking that continues on into the building.

The glass main entry wall brings the inner built environment up close to the natural with little interference physically or visually. The front lobby will be a great gathering place for smaller groups with a durable concrete floor.



April 15, 2014 Revised

City of West Des Moines
ATTN: Lynne Twedt, Case Advisor
Planning Division

RE: Request for Deferments Related to Iowa Christian Academy Fieldhouse

To Whom It May Concern:

Iowa Christian Academy ("ICA") hereby respectfully requests the following improvements be deferred:

1. Installation of public sidewalks along Grand Avenue – ICA requests the installation of these improvements (approximately 397 linear feet south of the site and approximately 374 linear feet north of the site, estimated cost \$16,000) be delayed for up to five (5) years. At the end of such time period, the sidewalks will be constructed. As part of the ICA Fieldhouse construction, ICA will install sidewalks between the ICA Fieldhouse driveways located along Grand Avenue (approximately 523 linear feet).
2. Parking Improvements – Under current City Code, the ICA Fieldhouse use requires 103 parking stalls be constructed and ICA will actually construct 138 parking stalls. Walnut Creek Community Church (owner of property) is allowed to use the ICA Fieldhouse on Sunday for church services, which requires 1 parking stall for every 50 sq. ft. of space used for church services, or 307 parking stalls. ICA is requesting a deferral on the 169 additional parking space requirements until such time as the church service use shows (i.e., parking on the grass or off-site patron parking due to lack of parking stalls) the installation of additional parking.
3. Installation of Streetlights along Fuller Road – At this time, ICA requests the installation of any streetlights required along Fuller Road be delayed for up to ten (10) years. At the end of such time period, the light poles will be installed. The cost to install such poles is estimated to be approximately \$9,000 per pole.
4. Installation of Streetlights along Grand Avenue – ICA requests the installation of the 6 streetlights required along Grand Avenue be delayed for up to eight (8) years. At the end of such time period, the light poles will be installed. The cost to install such

poles is estimated to be approximately \$9,000 per pole, or a total of \$54,000, in today's dollars.

5. Access road to Fuller Road – ICA agrees with the recommendations of the Traffic Impact Study which includes a potential internal connection to Fuller Road and possible implementation of a left-turn lane on Grand Avenue at such time that such improvement is warranted. ICA requests these improvements be delayed until the traffic volume necessitates such improvements be constructed, as indicated in the Traffic Study.

If you have any questions or need information in addition to the above, please do not hesitate to contact me. Thank you.

IOWA CHRISTIAN ACADEMY

By: *Dr. Brenda Hillman*

Dr. Brenda Hillman, Administrator

Attached: ICA Street Lighting Project

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